

Inspection Report

Lucky Customer

Property Address:
4321 Main St
GA



Marion Hodges Home Inspection Services

Marion Hodges
1499 Sylvan Circle
Brookhaven, GA 30319
770-572-2808

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General Info

Property Address

4321 Main St
GA

Date of Inspection

Invalid DateTime

Report ID
Customer(s)

Lucky Customer

Time of Inspection

09:30 AM

Real Estate Agent

Inspection Details

Standards of Practice:

ASHI American Society of Home Inspectors - A copy of the ASHI standards and practices can be downloaded at ASHI.org

In Attendance:

Inspector, Customer

Type of building:

Single Family (3 story)

Approximate year built:

2023

Temperature:

30 to 35 degrees

Weather:

Clear and Windy

Was water on at time of inspection?:

Yes

Was electricity on at time of inspection?:

Yes

Was gas on at time of inspection?:

Yes

Comment Key & Definitions

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector are based on conditions found at the time of the inspection and should be considered before purchasing this home. The inspector will not be liable for any conditions that change after the inspection. The inspector will not be held liable for any concealed defect or any defect that could not be seen due to seller belongings obstructing view or access. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI)= I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

1. Built-In Kitchen Appliances

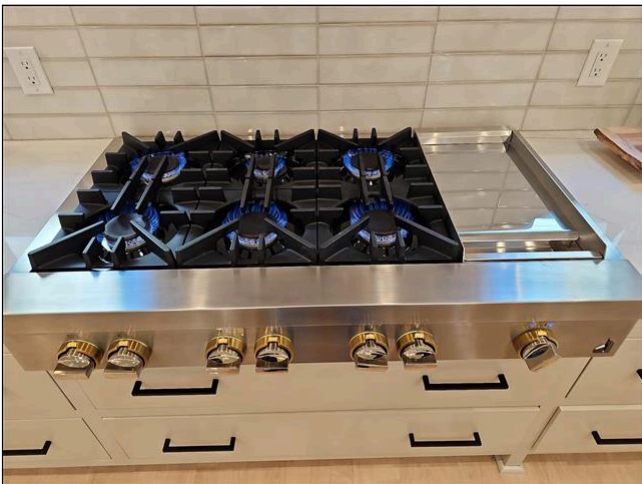
The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Dishwasher



Dishwasher



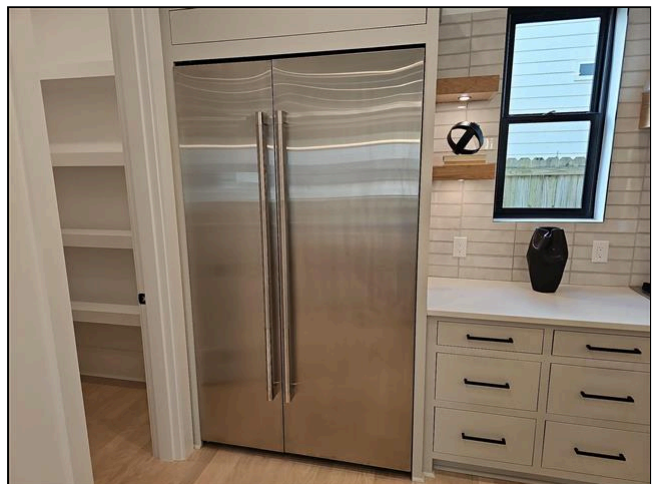
Surface Unit



Flat Iron Cooktop



Microwave



Refrigerator



Refrigerator



Exhaust Vent

Styles & Materials

Surface Unit Manufacturer:

Jenn-Air

Oven Manufacturer:

Jenn-Air

Microwave Manufacturer:

Jenn-Air

Dishwasher Manufacturer:

Jenn-Air

Refrigerator Manufacturer:

Jenn-Air


Items

1.0 Surface Unit

Comments: Inspected

1.1 Oven

Comments: Inspected, Repair or Replace

 Error message on oven display, "Product Mis-Wire". The oven was not tested. Power turned off in panel for safety. The builder needs to evaluate and repair as needed.



1.2 Exhaust Vent


Comments: Inspected

1.3 Microwave Oven

Comments: Inspected

1.4 Dishwasher

Comments: Not Inspected, Repair or Replace

 The water was off at the dishwasher at the time of the inspection. The builder should demonstrate normal operation of the dishwasher.

1.5 Refrigerator

Comments: Inspected

1.6 Garbage Disposal

Comments: Inspected

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Plumbing Systems



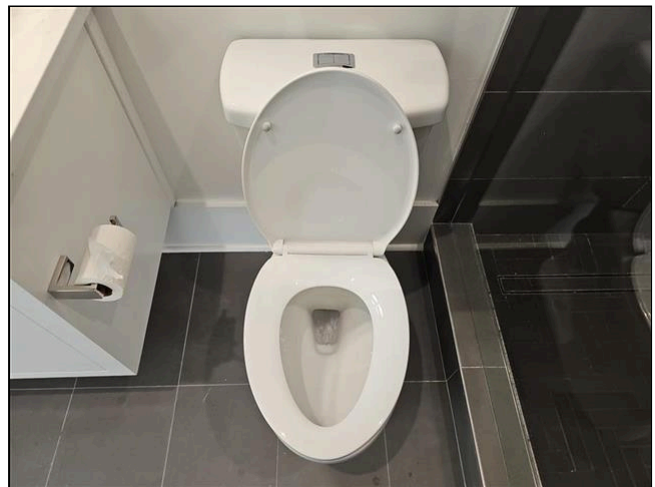
Kitchen



Main level bath



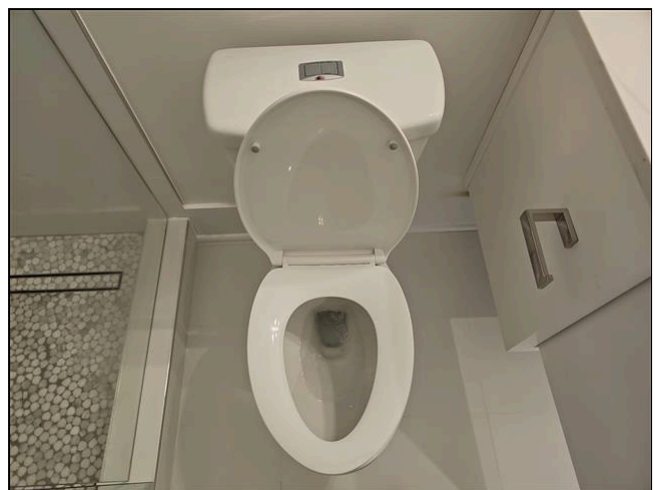
Main level bath



Main level bath



Private bath



Private bath



Private bath



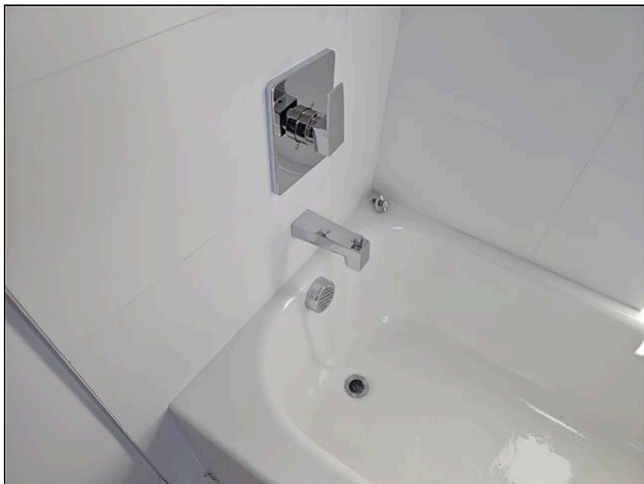
Laundry



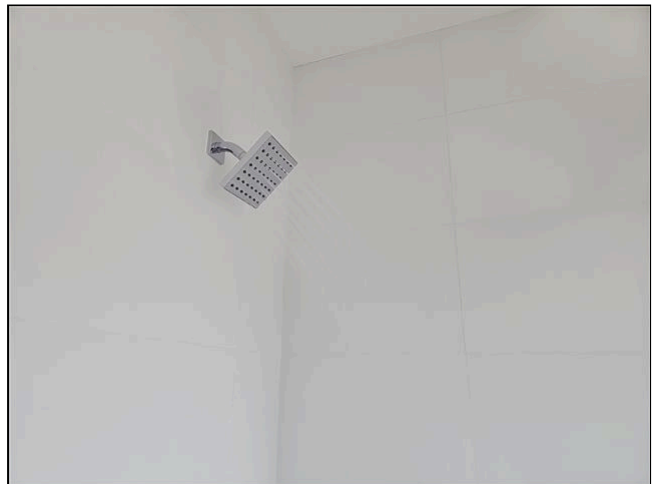
Shared bath



Shared bath



Shared bath



Shared bath



Shared bath



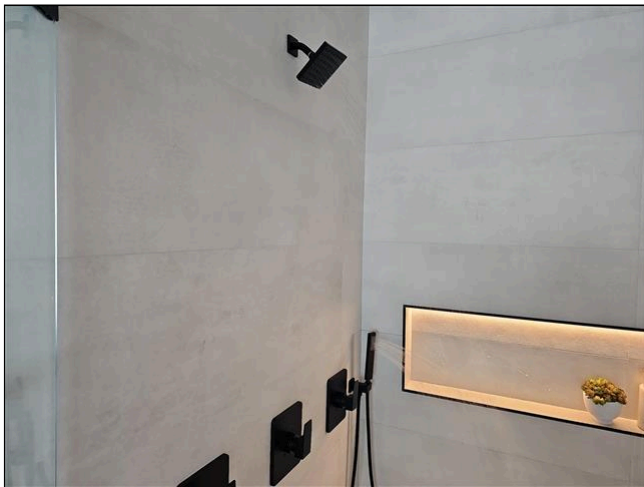
Master bath



Master bath



Master bath



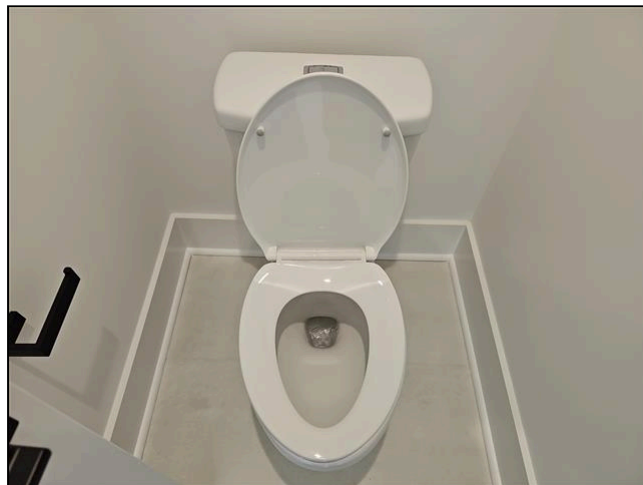
Master bath



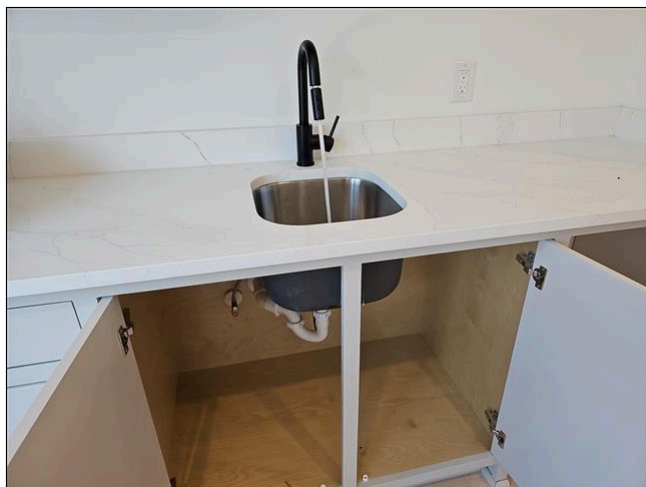
Master bath



Master bath



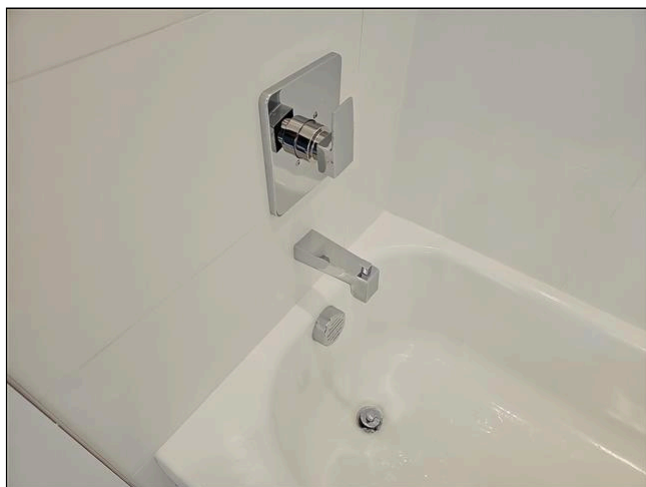
Master bath



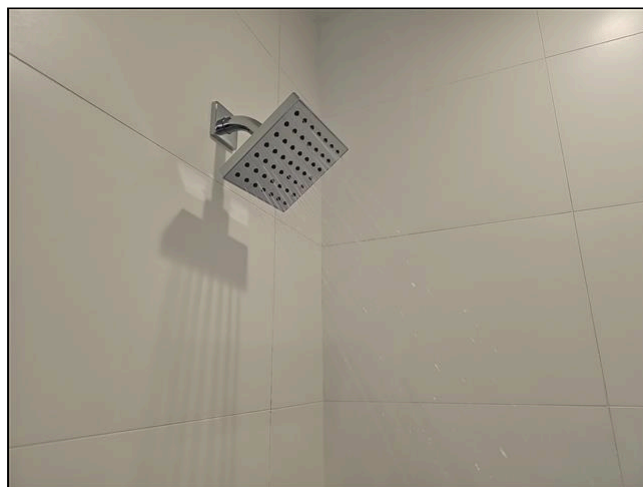
Wet bar



Bonus room bath



Bonus room bath



Bonus room bath



Bonus room bath

Items

2.0 Kitchen Sink Fixture(s)

Comments: Inspected

2.1 Kitchen Sink Water Supply Lines

Comments: Inspected

2.2 Kitchen Sink Drain Stop and Drain Assembly

Comments: Inspected

2.3 Lavatory Fixtures


Comments: Inspected

2.4 Lavatory Water Supply Lines

Comments: Inspected

2.5 Lavatory Drain Stop And Drain Assembly

Comments: Inspected, Repair or Replace

-  The sink drain stopper will not close. A licensed plumbing contractor needs to repair. Location(s): private bath

Code Violation.




2.6 Toilets

Comments: Inspected

2.7 Tubs and Showers

Comments: Inspected, Repair or Replace

 The shower door needs adjusted. The door hit the stationary panel. A qualified contractor needs to adjust door. Location(s): master bath



2.8 Washing Machine Connections

Comments: Inspected

2.9 Laundry Sink

Comments: Inspected

3. Plumbing Components

Inspecting sewer lines is beyond the scope of a home inspection. Since the cost to repair or replace these lines are typically significant, we advise you to have the sewer line/s scoped in order to minimize the risk of expensive cost that may be discovered after occupancy.

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.



Water Heater and Thermal Expansion Tank



Water Heater Delivering Heated Water

Styles & Materials

Manufacturer: Approximate Year Manufactured:

Rheem Average life expectancy of a water heater is approximately
10-12 years
2022

Capacity:

75 Gallon

Energy Source: Water Distribution (inside home):

Natural gas PEX

Service Line From Street (where visible):

PEX

Waste Lines: Main Water Cutoff Location:

PVC Garage

Approximate Water Pressure:

Water pressure is acceptable

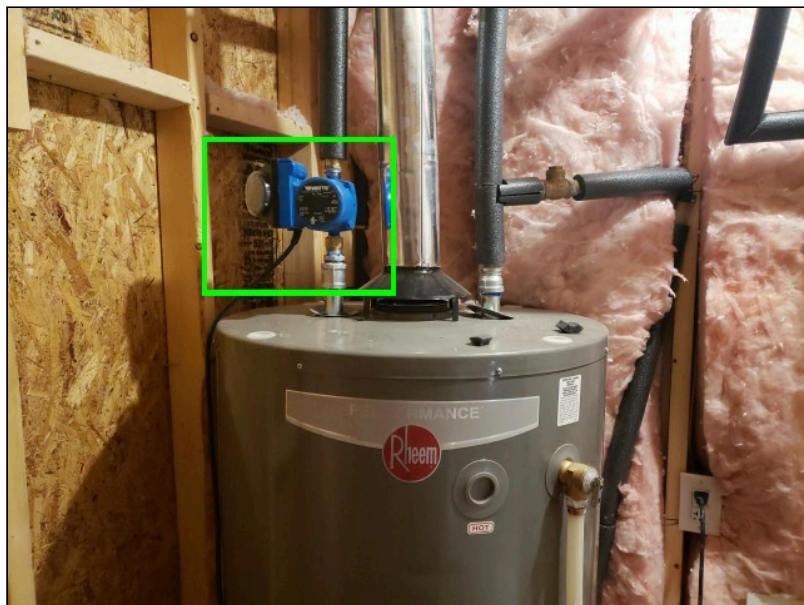
61 to 65 PSI


Items

3.0 Water Heater

Comments: Inspected, Repair or Replace

(1) FYI, A hot water re-circulating pump is connected to the hot water supply lines to provide hot water at fixtures faster.

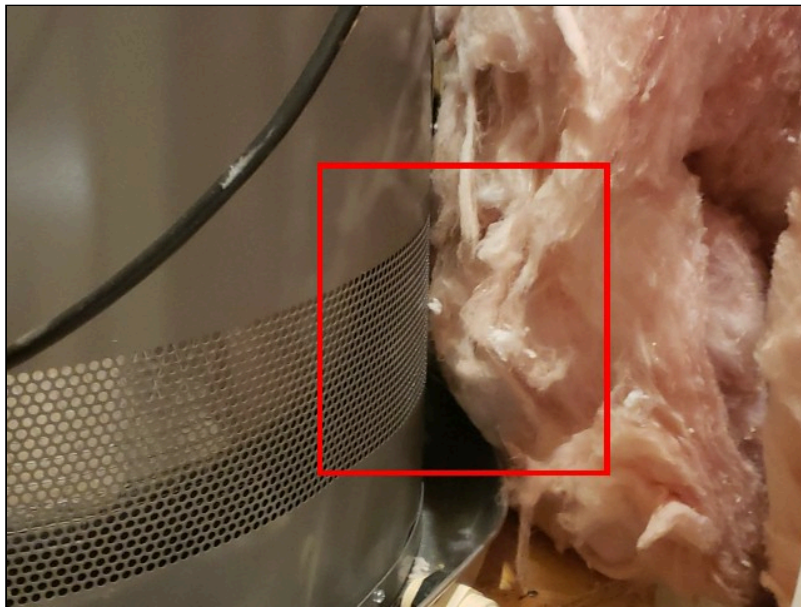
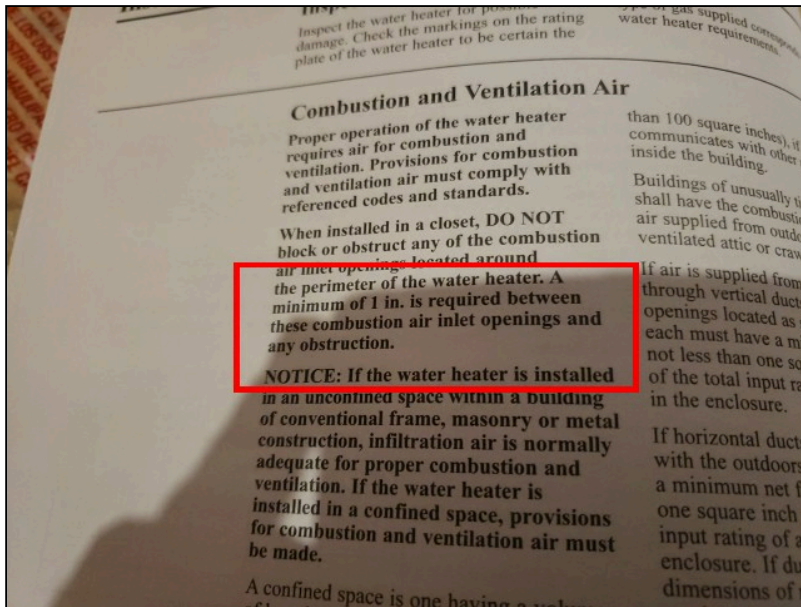


 (2) The overflow pan under the water heater is damaged. A licensed plumbing contractor needs to replace the overflow pan.



- 🏠 (3) Combustion air vents are obstructed with insulation. Combustion air vents need to have a 1 inch air clearance per manufacturers specs. A licensed plumbing contractor needs to repair.

Violation of manufacture installation specs.



3.1 Thermal Expansion Tank Or Device

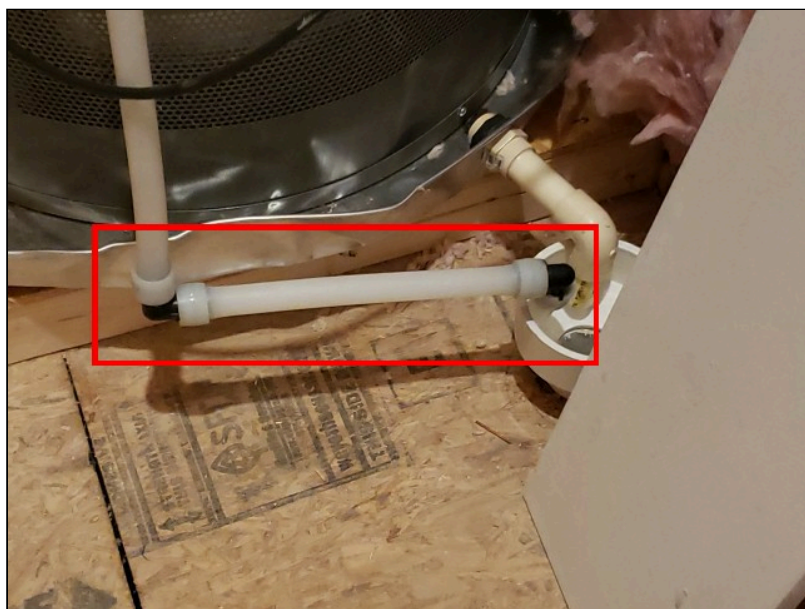
Comments: Inspected

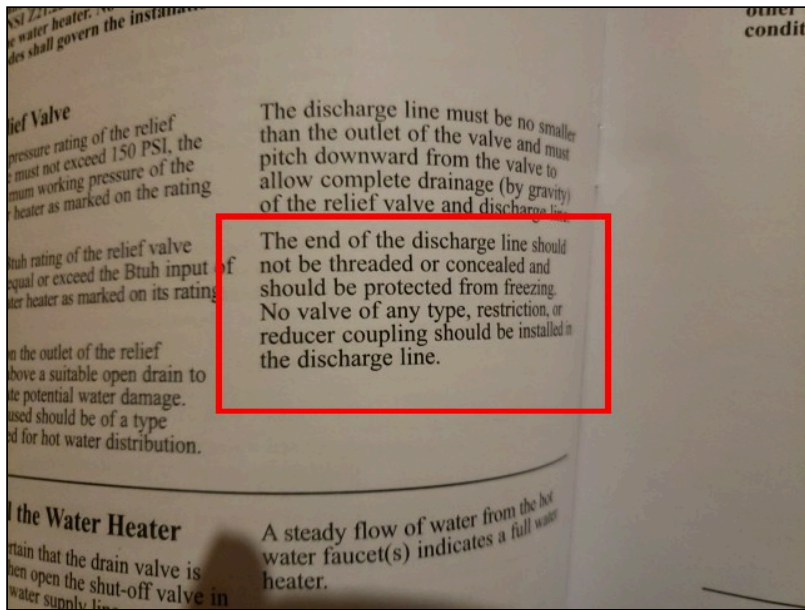
3.2 Temperature and Pressure Regulator Valve

Comments: Inspected, Repair or Replace

🏠 The end of the discharge pipe is not protected against freezing for the water heater pressure relief valve. Per manufacturer's specs, the end of the discharge pipe needs to be protected against freezing. The water heater is installed in the attic. A licensed plumbing contractor needs to repair.


Violation of manufacture installation specs.



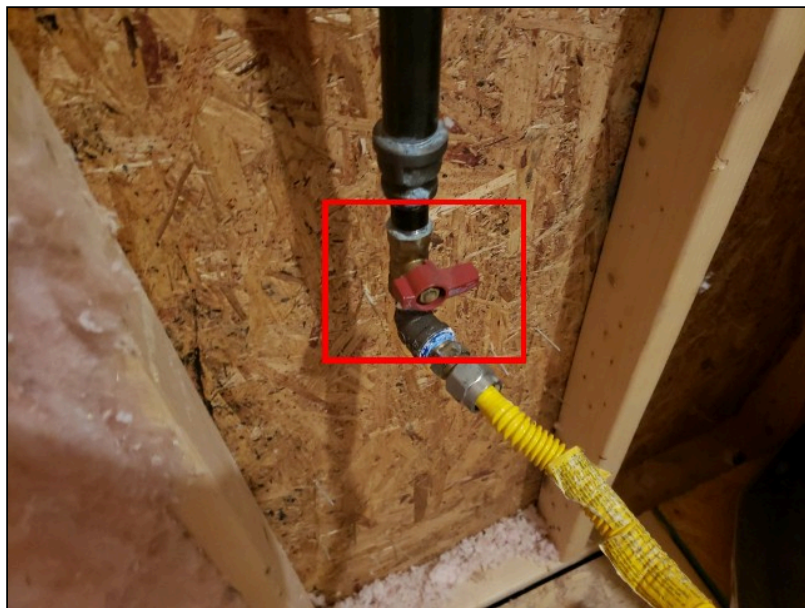


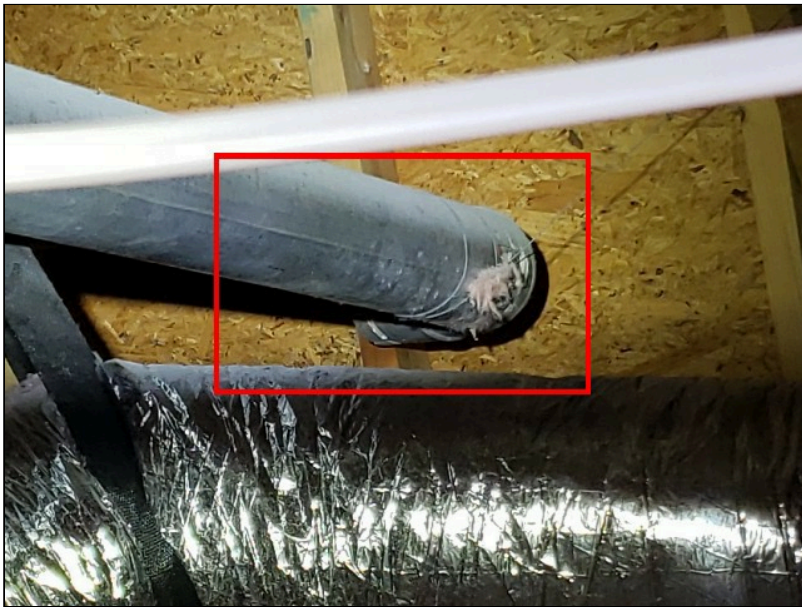
3.3 Vent Pipe

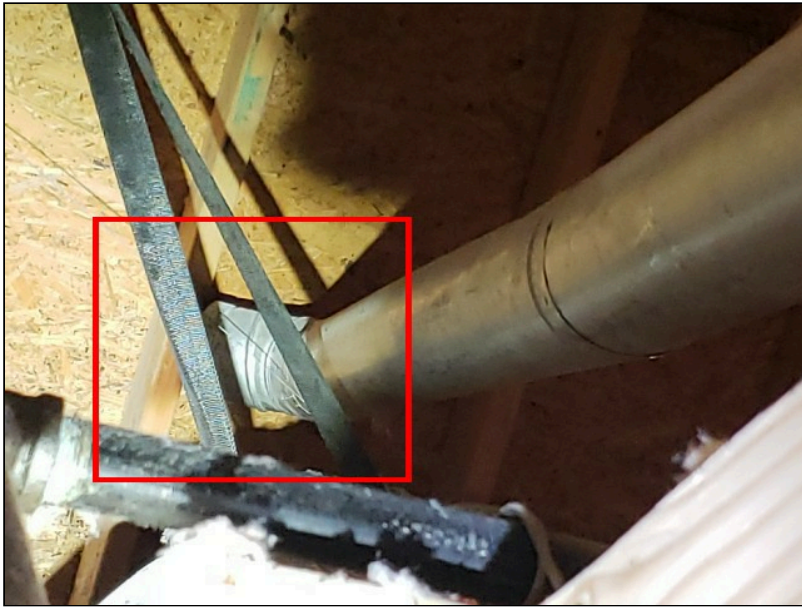
Comments: Inspected, Repair or Replace

- 
 (1) The water heater vent pipe is not vented to the exterior. The water heater vents into the attic. This is a carbon monoxide safety issue. The water heater vent pipe must be vented to the exterior through the roof. The inspector turned gas off to the water heater for safety. A licensed plumbing contractor needs to repair.

Code violation and life safety issue

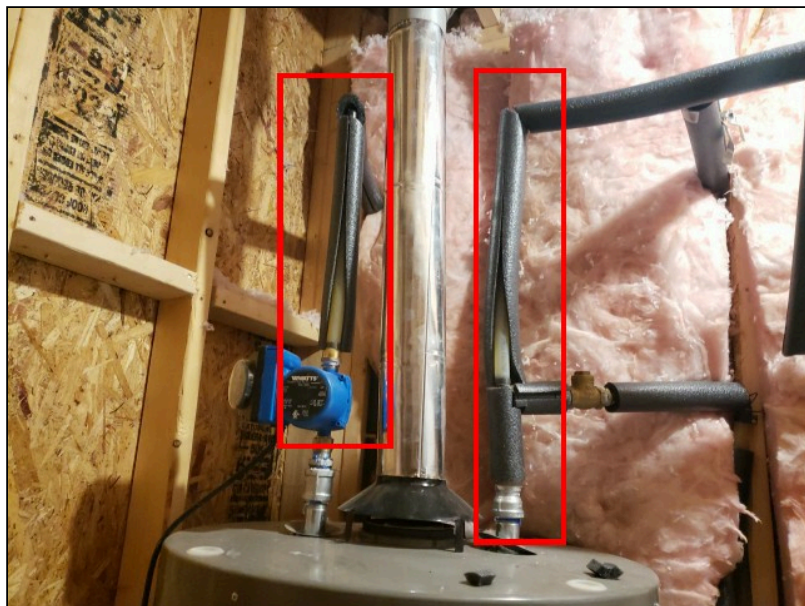






- 🏠 (2) Single wall vent pipe originates from the water heater in the attic. Single wall vent pipe is not allowed to originate in attic spaces. A licensed plumbing contractor needs to replace vent pipe with double wall pipe. The first 18 inches of the hot and cold line on a gas water heater need to be copper. A licensed plumbing contractor needs to repair.

Code violation




- 🏠 (3) The joints on the water heater vent pipe are not fastened together with screws. The vent piping from the water heater should be screwed together at the joints or connected in accordance with the manufacturers instructions. A licensed plumbing contractor needs to repair.

Code violation





-  (4) The draft hood legs on the water heater vent assembly need to be connected to the water heater. Proper connections prevent carbon monoxide from entering the structure. A licensed plumbing contractor needs to attach draft hood legs.

Code violation



3.4 Drain, Waste, and Vent Systems

Comments: Inspected, Repair or Replace

 Cleanout cap is broken. A qualified contractor needs to replace. Location(s): front yard



3.5 Water Supply and Distribution Systems

Comments: Inspected

3.6 Exterior Faucets

Comments: Inspected

3.7 Location Of Main Water Shut Off Valve

Comments: Inspected

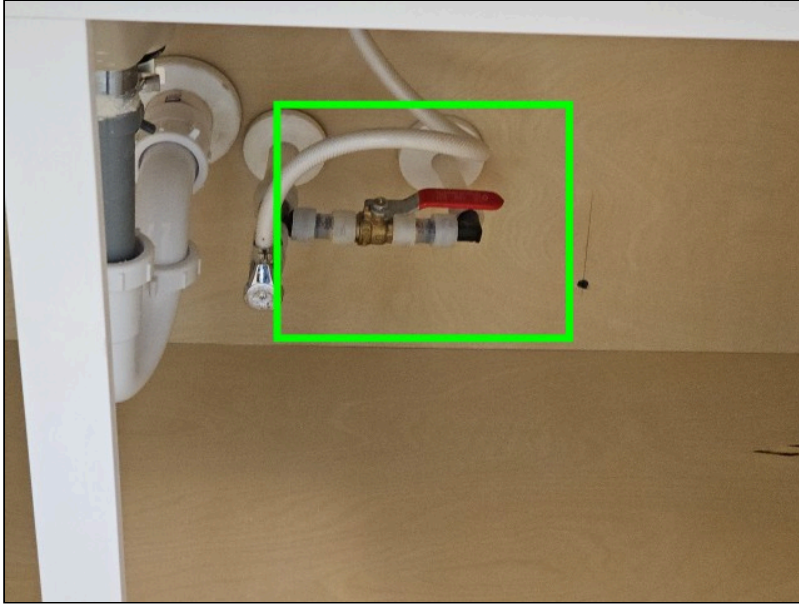
Location of main water cut off (See Photo).



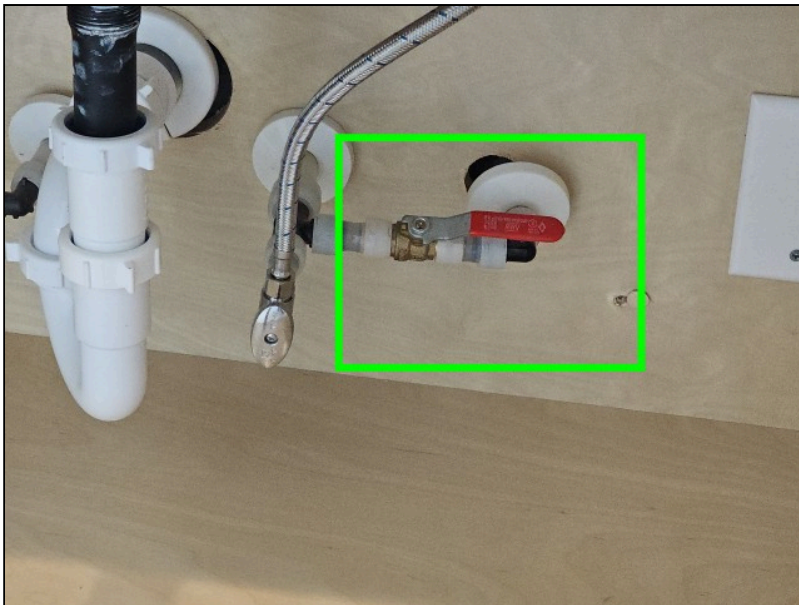
3.8 Location Exterior Hose Bibb Shut Off Valves

Comments: Inspected

FYI, Location of exterior water faucet shutoff. (See Photo). In the winter time, a good practice is to turn off the water to the exterior faucets and drain exterior faucet to prevent pipe from freezing. This is for your information.



Main level bath sink cabinet

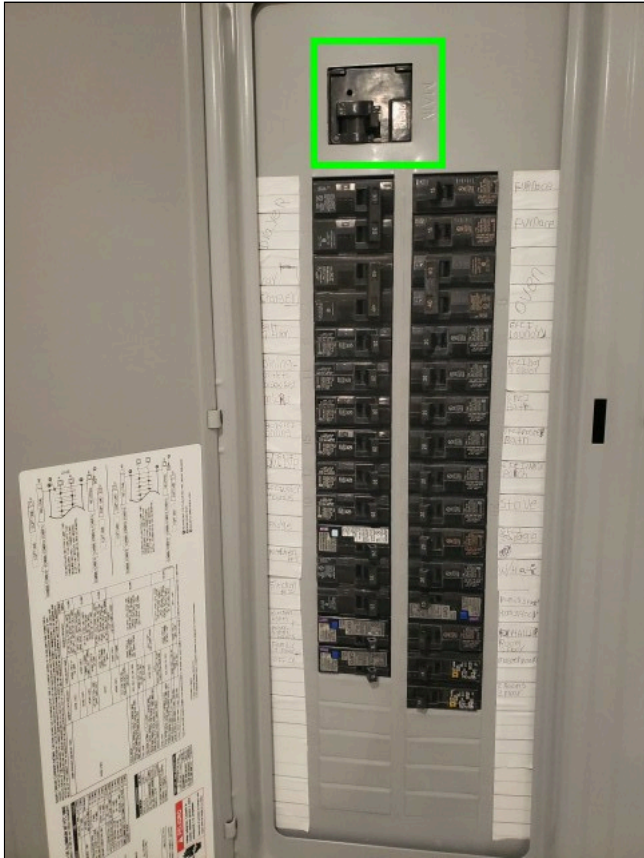


Master Bath Sink Cabinet

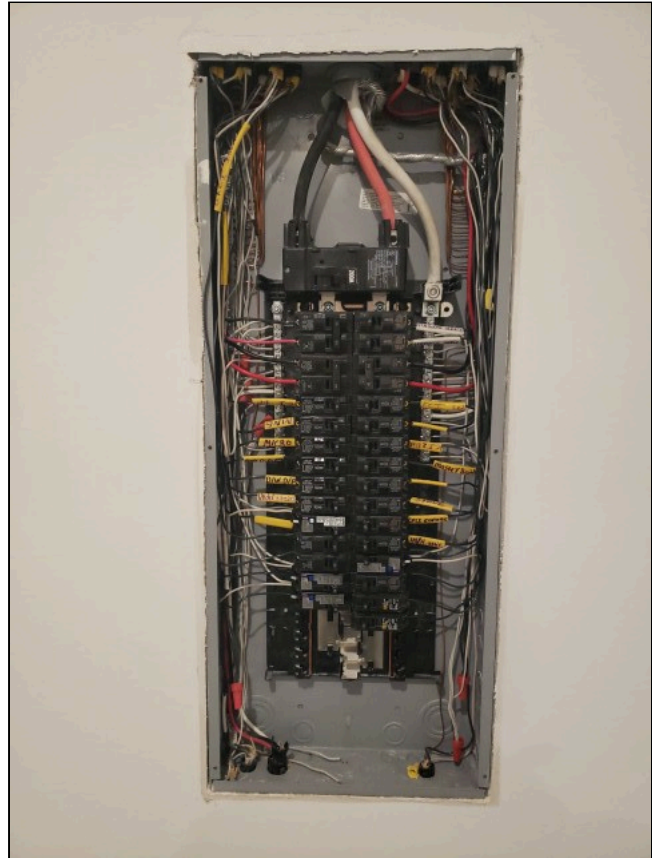
The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go undetected. Concealed plumbing leaks that have not saturated the sheetrock cannot be detected during a home inspection. When the water has been off in a dwelling unit past stains on the ceilings or walls can still be active leaks that might not show as active during the inspection. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Electrical Systems

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.



Main Service Disconnect Breaker and Labeled Panel



Main Distribution Panel



Main Service Disconnect Breaker

Styles & Materials

Location of Distribution Panel: Garage	Location Of Main Service Disconnect: Distribution Panel	Electrical Service Conductors: 120/240 Underground
Service Conductor at Panel: 200 AMP wire feeding panel	Overcurrent Protection: Circuit breakers	Branch Wire 15 and 20 AMP Circuits: Copper
Wiring Methods: Romex	Main Panel Grounding: Rod and pipe electrode	

Items

4.0 Connected Devices (Not every receptacle is tested)

Comments: Inspected

4.1 Connected Devices (light switches)

Comments: Inspected

4.2 Connected Devices (junction boxes, wire splices, abandoned wires)

Comments: Inspected

4.3 Connected Fixtures (interior light fixtures)

Comments: Inspected

4.4 Connected Fixtures (exterior light fixtures)

Comments: Inspected

4.5 Connected Fixtures (ceiling fans)

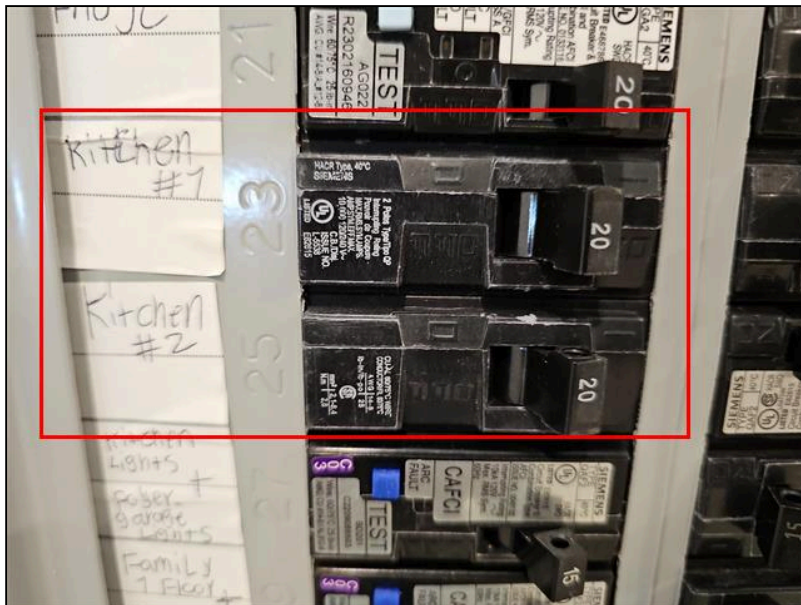
Comments: Inspected

4.6 GFCI (Ground Fault Circuit Interrupters)

Comments: Inspected, Repair or Replace

- 🏠 The receptacles in the kitchen that serve the countertops are not GFCI protected. A licensed electrician needs to put all receptacles in the kitchen on a GFCI protected circuit.

Code violation



4.7 Smoke Detectors

Comments: Inspected, Repair or Replace

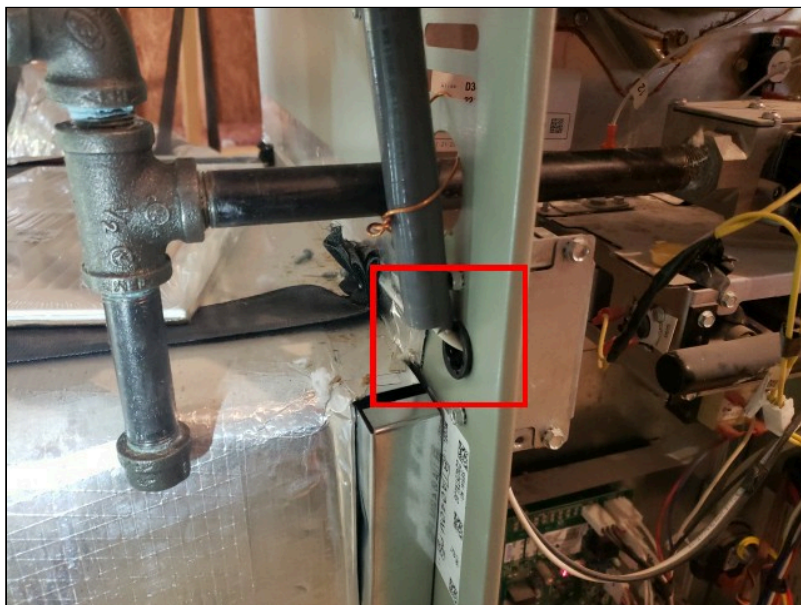
- 🏠 Replace bad battery in smoke detectors as needed. Smoke detector battery should be changed every 6 months.

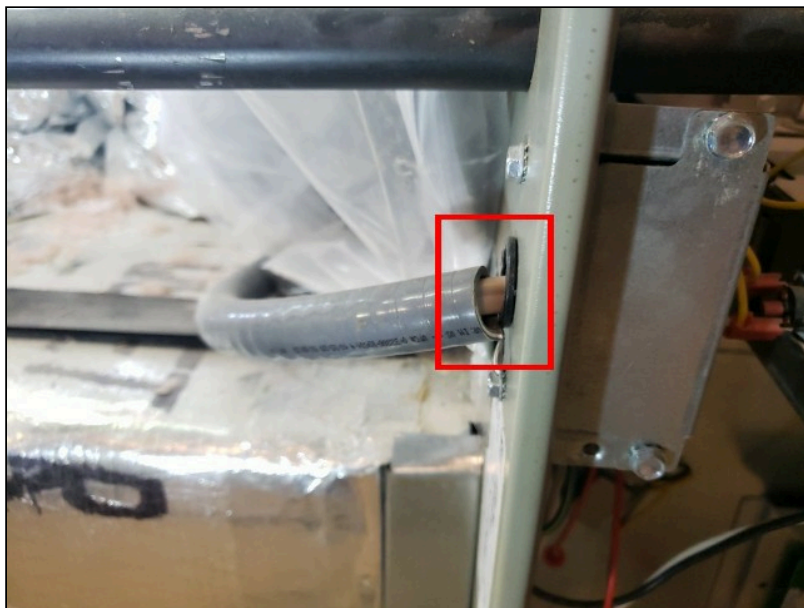
4.8 Connected Devices And Fixtures (disposals, water heaters, bath fans, whirlpool motors, and attic fans)

Comments: Inspected, Repair or Replace

- 🏠 Electrical conduit is not secure to the junction box. A licensed electrician needs to repair. Location(s): both air handlers in attic

Code violation



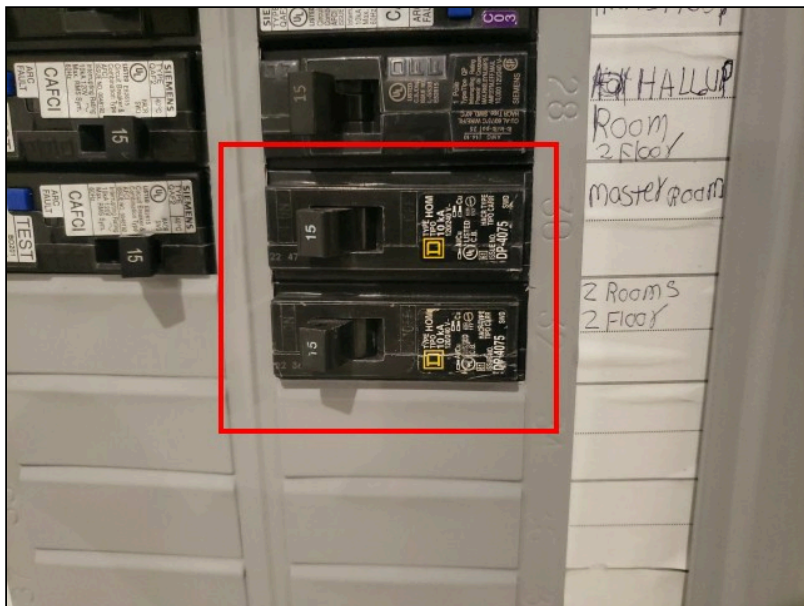


4.9 Distribution Panel Box And Disconnect Boxes

Comments: Inspected, Repair or Replace

- ➦ (1) There are mismatched breakers in the main distribution panel. Manufacturers legend label requires that only the panel manufacturers breakers be used in the panel or a compatible replacement is allowed to be used inside the panel. A licensed electrician needs to inspect further and replace any breaker that is not compatible with the panel.

Violation of manufacture installation specs.

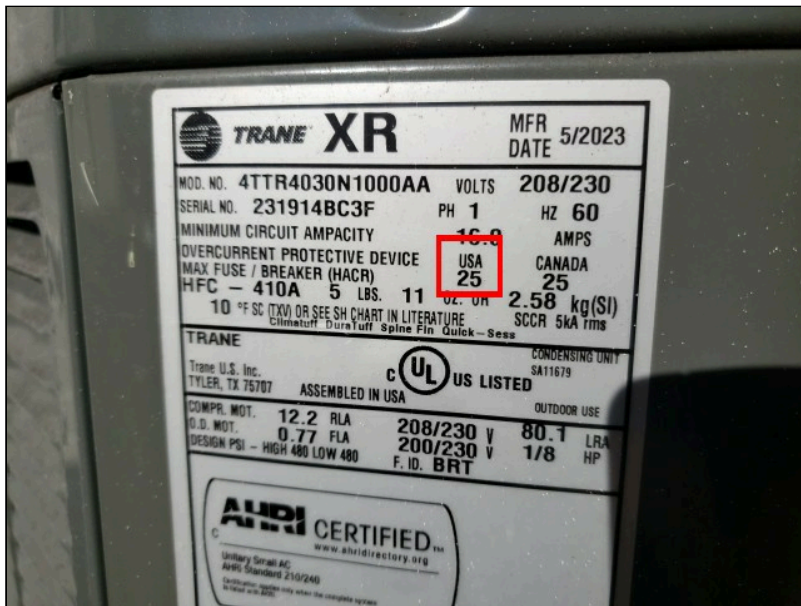


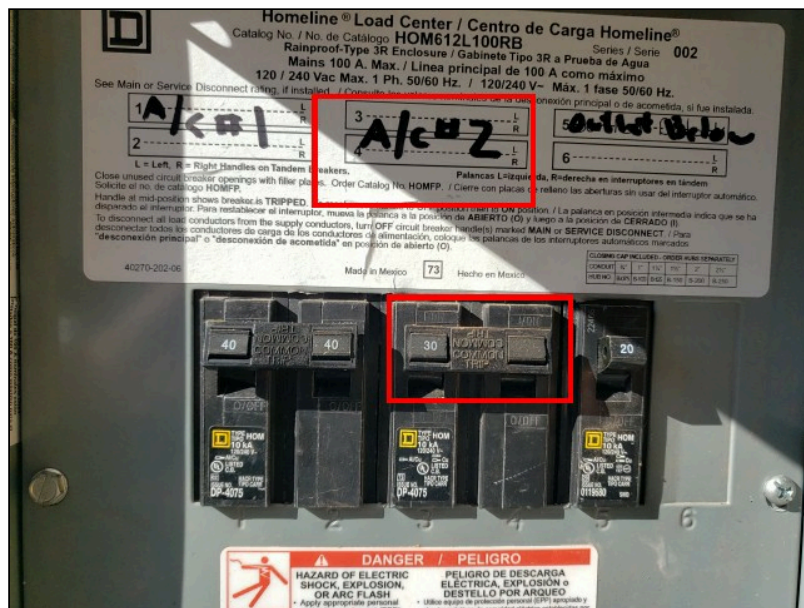
SHORT CIRCUIT CURRENT RATING THIS PANELBOARD HAS A MAXIMUM SHORT CIRCUIT CURRENT RATING OF 100,000 AMPS RMS SYMMETRICAL. (SEE NOTE - THE ACTUAL RATING IS DEPENDENT ON THE BRANCH BREAKERS INSTALLED IN THIS PANELBOARD AND THE MAINFEEDER BREAKER, IF ANY. INSTALLED AHEAD OF THE PANELBOARD. THE CORRECT MAIN BREAKER/FEEDER/MAN BREAKER/BRANCH BREAKER SERIES COMBINATIONS TO BE USED ARE SET FORTH IN THE TABULATION BELOW. ANY CIRCUIT BREAKER INSTALLED, REPLACED, OR ADDED IN THIS PANELBOARD MUST BE MANUFACTURED BY SIEMENS AND MUST BE OF THE CORRECT TYPE AS INDICATED IN THE TABULATION BELOW. USE OF OTHER CIRCUIT BREAKERS IN THIS EQUIPMENT MAY VOID THE WARRANTY.

MAIN BREAKER (SIEMENS TYPE)	MAINFEEDER BREAKER	PANELBOARD MAIN	BRANCH BREAKER	RATING AMPS
NONE USED	NONE USED or QP QNR	NONE USED or QP QNR	QP, QTA, QTA, QAF, QAFN, QAF2, QAF2N, QFQA2, QFQA2N, QPF, QPF2, QPF2N, QE, QE2, QNR	10,000
NONE USED	NONE USED or QPH, BUI, QSH, QNH, QPH1, QNH1, QPH2, QNH2	FORBIDDEN, EORB27, QPH1, QNH1, NONE USED or QP QNR	QP, QTA, QTA, QAF, QAFN, QAF2, QAF2N, QFQA2, QFQA2N, QPF, QPF2, QPF2N, QE, QE2, QNR	22,000
NONE USED	QSH1	NONE USED or EORB26, EORB26S, QP QPH1, QNH1, QNH1S	QP, QPH1, QTA, QTA, QAF, QAFN, QAF2, QAF2N, QAFH, QAFH2, QFQA2, QFQA2N, QFQA2S, QPF, QPF2, QPF2N, QNH1, QNH1S	42,000
NONE USED	NONE USED	NONE USED	HQP1, HQAF2, HQFQA2, HQPF2, HQNR1	85,000

(2) Per manufacturers specs on the condensing unit, the maximum size breaker permitted is 25 AMPS. The breaker in the panel is 30 AMPS. A licensed electrician needs to install correct size breaker.

Violation of manufacture installation specs.





4.10 Service Entrance Conductors

Comments: Inspected

4.11 Electrical Service Grounding

Comments: Inspected

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Heating and Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.



Air handlers



Condensing Units

Styles & Materials

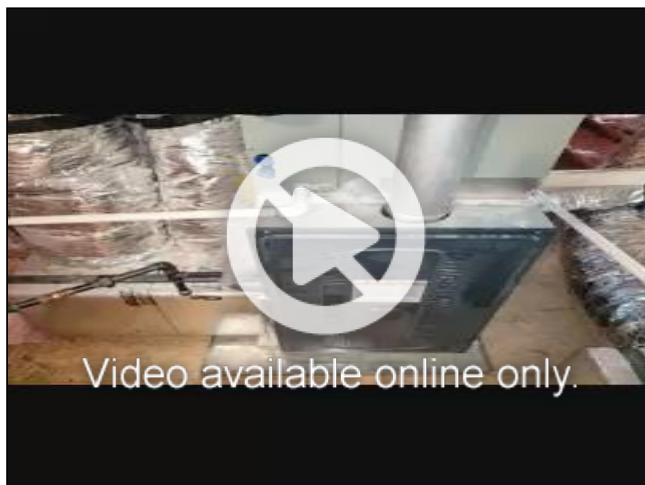
<p>Heat System Manufacturer: Trane</p> <p>Heating Energy Source: Natural gas</p> <p>Filter Type: Disposable</p> <p>Condensing Unit Manufacturer: Trane</p> <p>Cooling Energy Source: Central electric system</p> <p>Split system Zoned system</p>	<p>Approximate Year Heating Equipment Manufactured: Average life expectancy of a furnace is approximately 20 years Furnaces should be serviced every fall 2022</p> <p>Heat Type: Forced air</p> <p>Filter Size: 16x25</p> <p>Approximate Year Condensing Units Manufactured: Average life expectancy of air conditioning equipment is approximately 10 to 15 years Service the air conditioning system every spring 2023</p> <p>Cooling Equipment Type: Condensing unit(s)</p>	<p>Number of Heat Systems: Two</p> <p>Ductwork: Insulated flex pipe</p> <p>Location of main fuel shut off: At gas meter Left side of house</p> <p>Number of Condensing Units: Two</p> <p>Condensing Unit Size: 2 1/2 ton 4 ton</p>
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Items

5.0 Heating Equipment

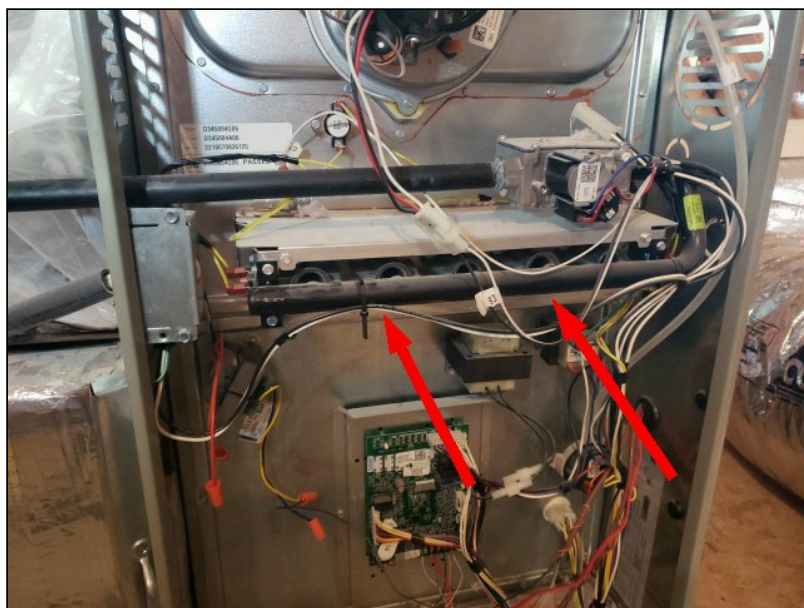
Comments: Inspected, Repair or Replace

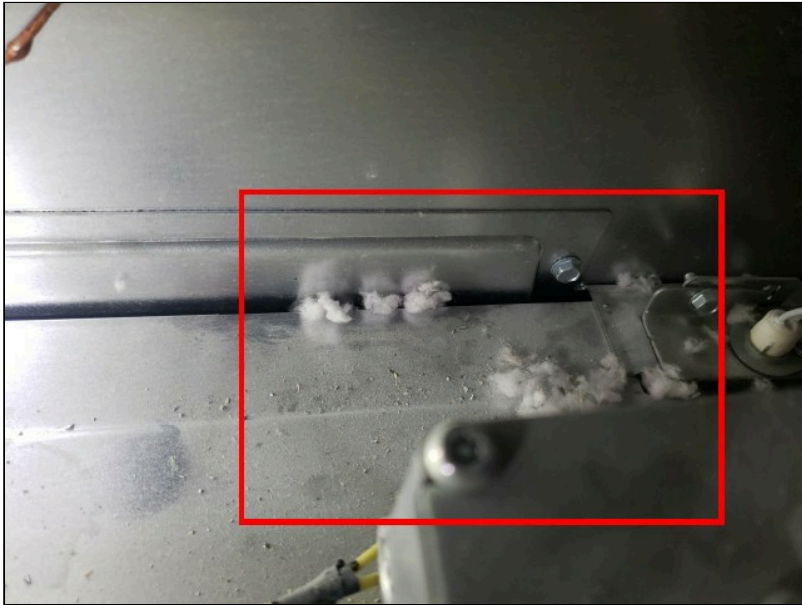
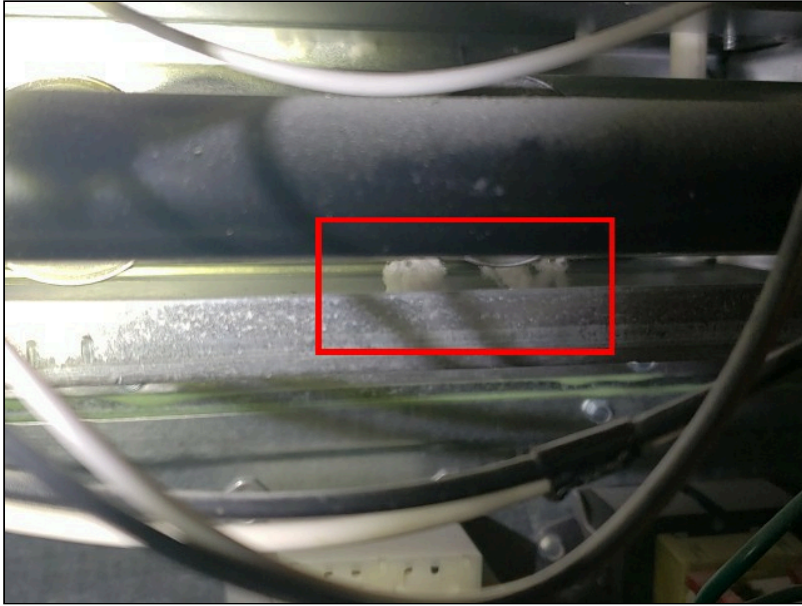
- (1) The air handler on the left makes a buzzing sound. The furnace did not start at the time of the inspection. A licensed heating and air contractor needs to evaluate further and repair. Location(s): attic

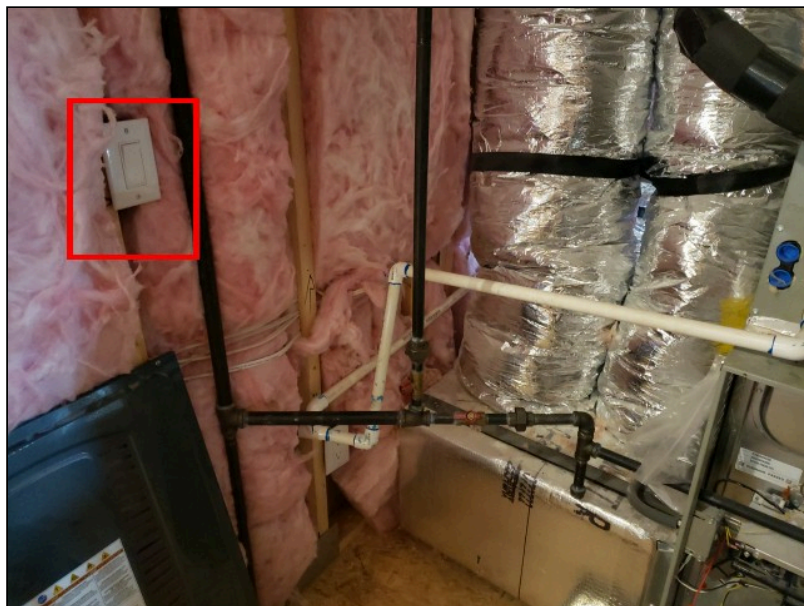



- (2) The inside of the furnace burner housing is filled with insulation. This is on the same furnace that makes a buzzing sound. The inspector turned power off the the furnace for safety. All insulation needs to be removed from the inside of the furnace. The furnace needs to be put in normal working order. A licensed heating and air contractor needs to repair.

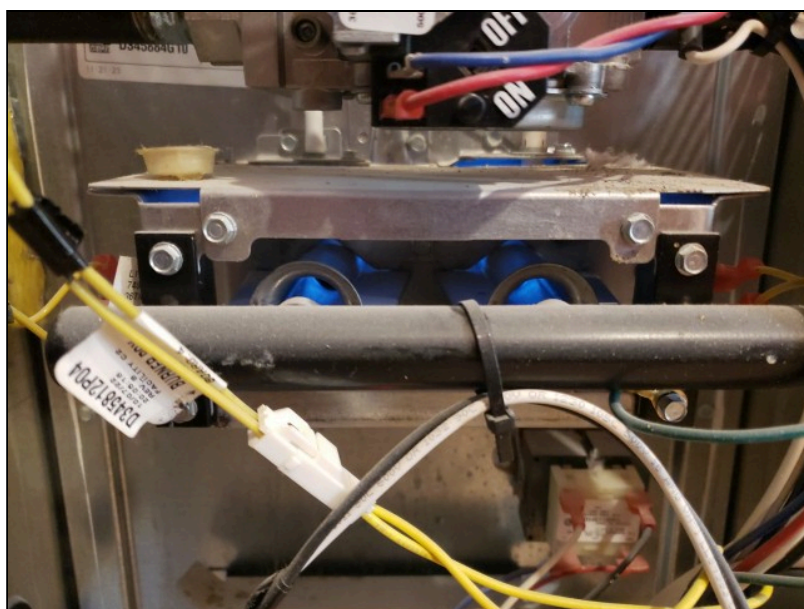
Fire safety issue.







-  (3) The main level furnace started at the time of the inspection. The furnace should not be used until the vent pipe issues are fixed (refer to comment 5.4). The inspector makes no warranties or guarantees as to how long the heating equipment and components will last.



5.1 Gas Piping (Exposed gas piping at water heaters, furnaces, and kitchen appliances inspected for leaks)

Comments: Inspected, Repair or Replace

🏠 The gas pipe is not protected from corrosion. Latex paint was used to paint the gas pipe. Exterior gas piping should be protected from corrosion with corrosion resistant paint. A qualified contractor needs to paint the gas pipe with corrosion resistant paint. Location(s): gas grill connection, gas meter

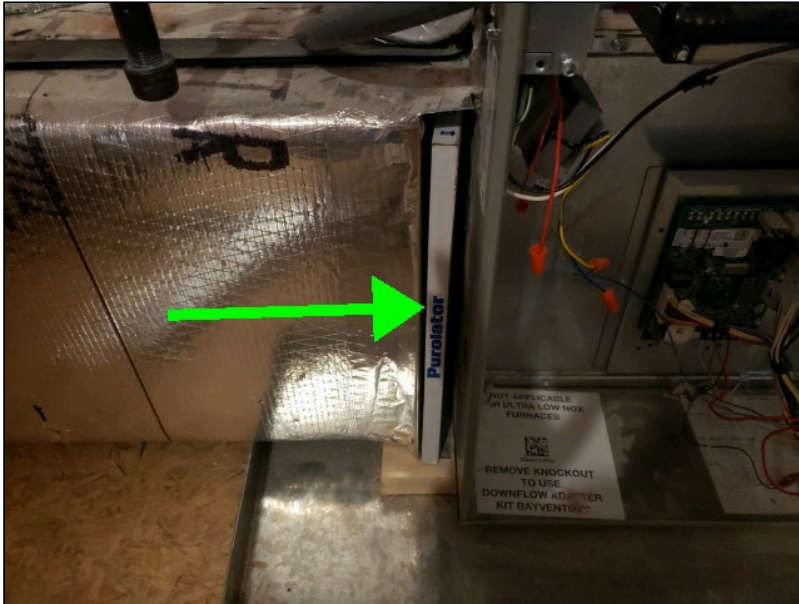
Code Violation



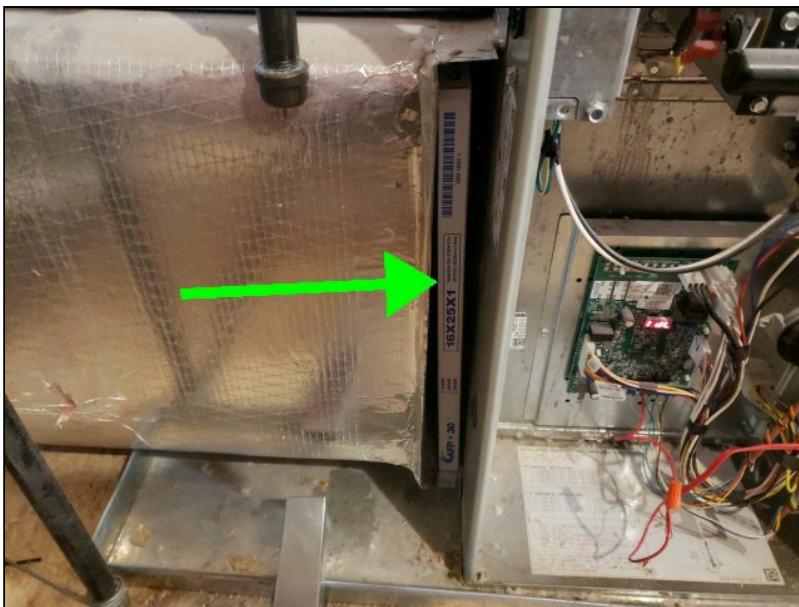
5.2 Gas Shut Off Valves
Comments: Inspected

5.3 Location Of Filters
Comments: Inspected

Location of return air filters (see photo). For the first 6 months the filters should be changed every 30 days to limit dust in the house. After the first 6 months filters should be changed every 60 to 90 days. Recommend that the filters be changed once you take possession of the house.



Arrow in the direction of air flow



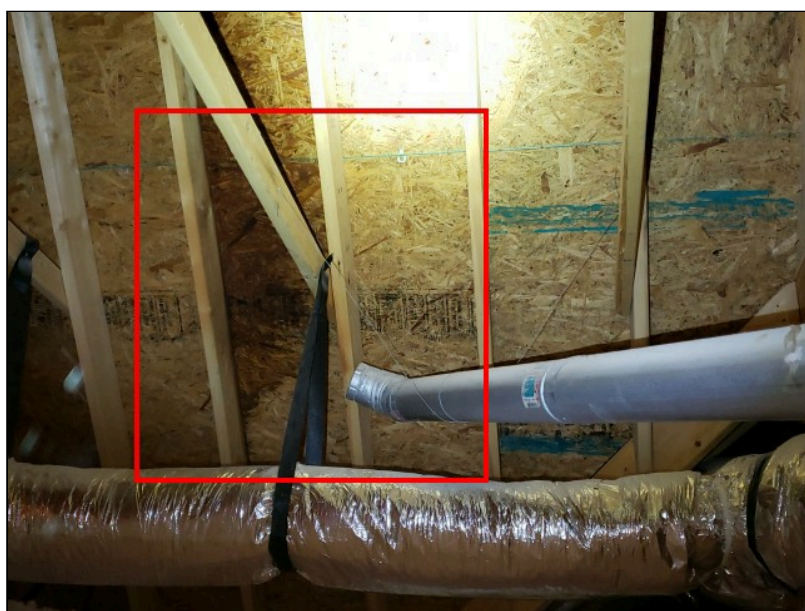
Arrow in the direction of air flow

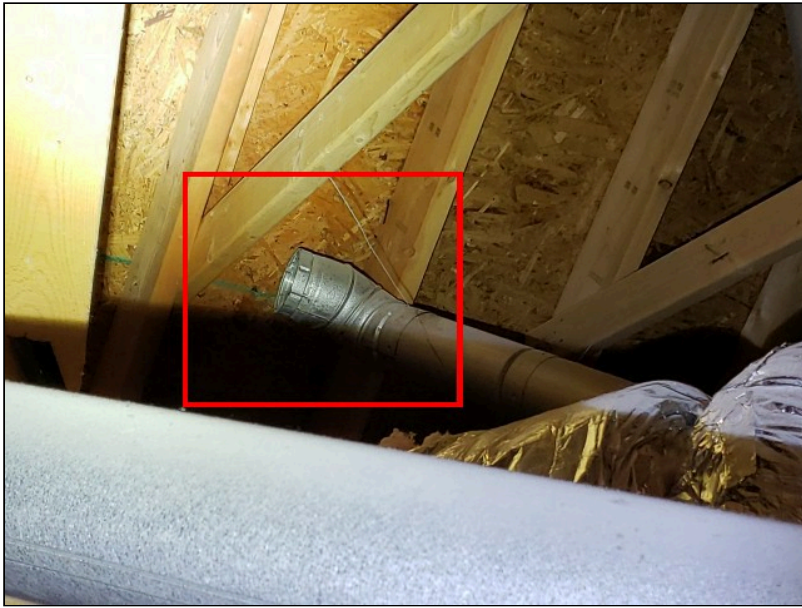
5.4 Furnace Vent Pipe

Comments: Inspected, Repair or Replace

🏠 The furnace vent pipes are not vented to the exterior. The furnaces vent into the attic. This is a carbon monoxide safety issue. The furnace vent pipes must be vented to the exterior through the roof. The inspector turned gas off to the furnaces for safety. A licensed heating and air contractor needs to repair.

Code violation and life safety issue











5.5 Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected

5.6 Cooling And Air Handler Equipment

Comments: Inspected, Repair or Replace

-  (1) The air conditioning systems were not tested. The outside air temperature has been 65 degrees or less. Operating the condensing units when the outside air temperature has been less than 65 degrees can damage the compressors. The builder needs to warrant normal operation of the air conditioning equipment.
-  (2) Missing insulation on the refrigerant line in the attic. The refrigerant line should be completely insulated. A licensed heating and air contractor needs to add insulation where insulation is missing.

Code violation



5.7 Condensation Drain Lines And Overflow Pan

Comments: Inspected

5.8 Supply And Return Air Plenum**Comments:** Inspected

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Interiors

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Items

6.0 Doors and Door Locks

Comments: Inspected, Repair or Replace

 Lock needs to be tightened. Location(s): garage



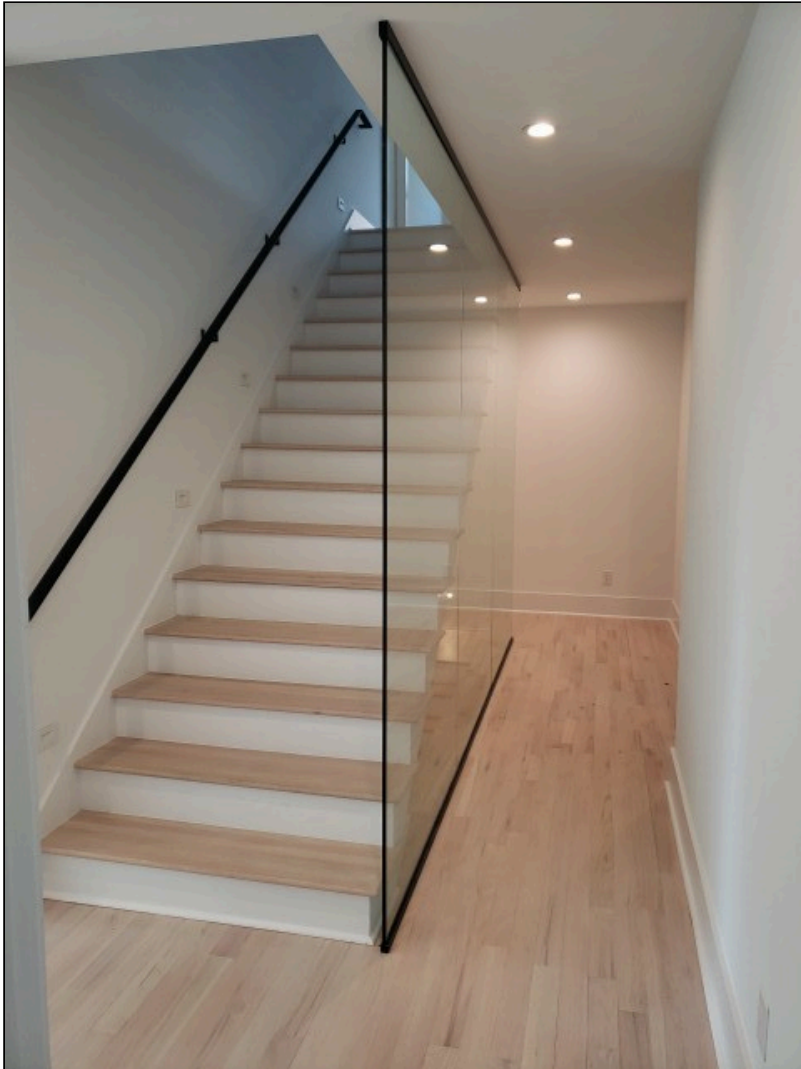
6.1 Windows

Comments: Inspected

6.2 Steps, Stairways, Balconies, And Railings

Comments: Inspected, Repair or Replace


🏠 The glass guard rails along the stairs wobble. The glass could need stabilization. Check with the builder.





6.3 Counters And A Representative Number Of Cabinets

Comments: Inspected

 Bottom drawer under the surface unit and drawer to the right need adjustment to open and close.



6.4 Bathroom Caulking and Tile

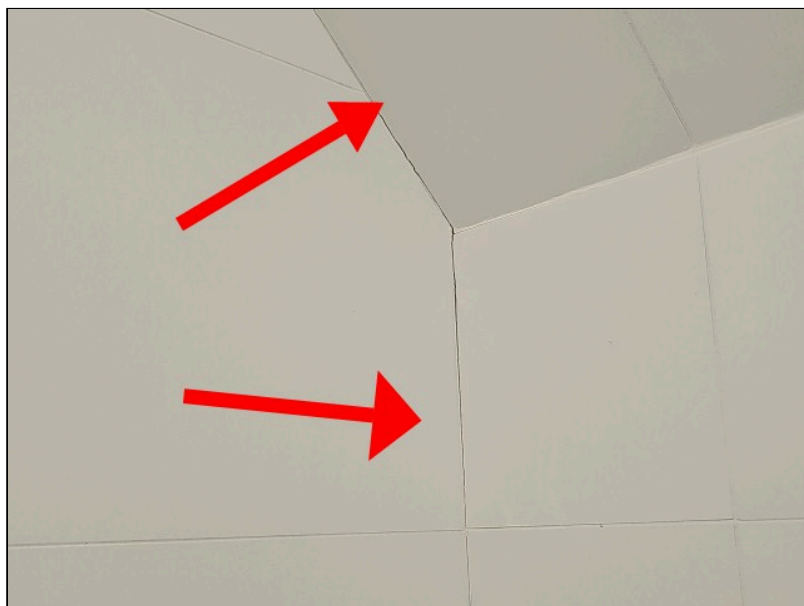
Comments: Inspected, Repair or Replace

- 🏠 (1) Tub walls need to be caulked or grouted. The pictures shown are examples. A qualified contractor needs to caulk or grout. Location(s): shared bath



- 🏠 (2) Tub walls need to be caulked or grouted. The pictures shown are examples. A qualified contractor needs to caulk or grout. Location(s): bonus room bath



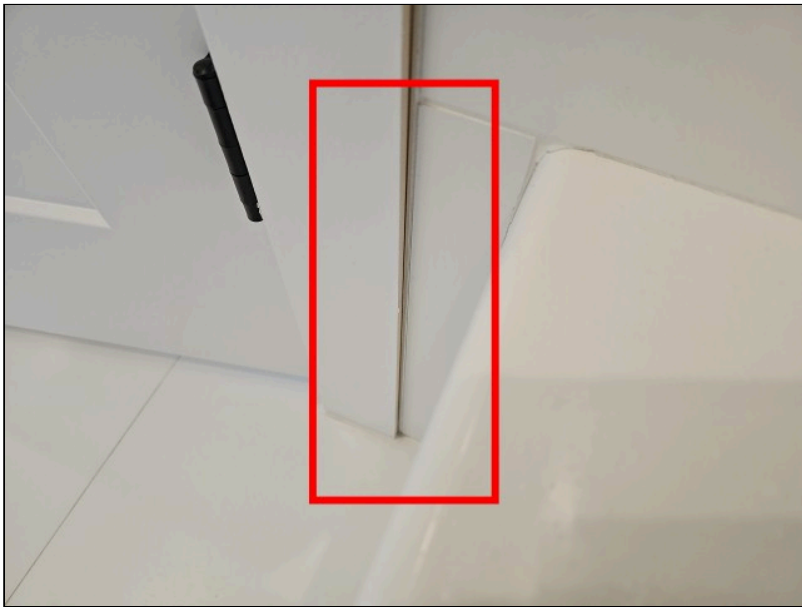
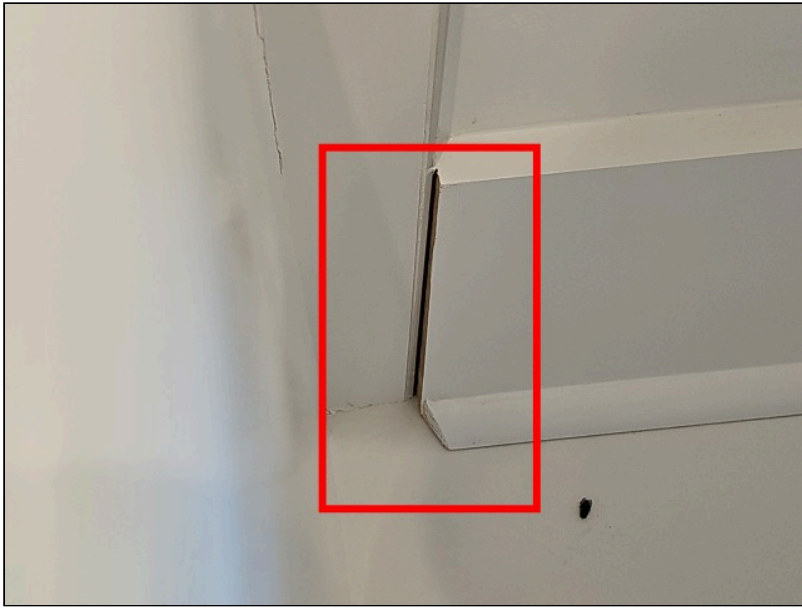


6.5 Ceilings, Walls, And Floors

Comments: Inspected, Repair or Replace

- 🏠 (1) End of base trim by the tub is not painted. Paint trim to prevent water damage to the trim.
Location(s): shared bath, bonus room bath





- 🏠 (2) The flooring needs to be secured to the floor in front of the oven. A qualified contractor needs to repair.



6.6 Attic Access

Comments: Inspected

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Garage

The home inspector shall: Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Garage door operator remote control transmitters; Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.



Garage Door and Operator Operational

Styles & Materials

Garage Door Material:

- Insulated
- Metal

Garage Doors:

2 automatic doors


Items

7.0 Garage Door Operator

Comments: Inspected

7.1 Garage Door

Comments: Inspected, Repair or Replace

-  Door does not have a tight seal against the garage door casing. A qualified contractor needs to adjust door for a tight fit or add an additional piece of trim to obtain a tight seal. Location(s): garage doors



7.2 Garage Floor**Comments:** Inspected**7.3 Garage Walls And Ceiling****Comments:** Inspected**7.4 Occupant Door From Garage To Inside Home****Comments:** Inspected

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Insulation And Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Bathroom Ventilation:

Fan
Window

Dryer Power Source:

220 Electric
4 prong dryer plug needed with dryer

Attic Insulation:

Loose fill
Needs to be upgraded
R-30


Attic Ventilation:

Continuous ridge vent
Soffit vents

Items

8.0 Bathroom Venting Systems

Comments: Inspected, Repair or Replace

 The backdraft damper at the bathroom exhaust duct termination does not close on the back of the house. Outdoor air intakes and exhausts should have automatic or gravity dampers that close when the ventilation system is not operating. A qualified contractor needs to adjust damper so damper can close or replace damper.

Code violation






8.1 Laundry Venting System

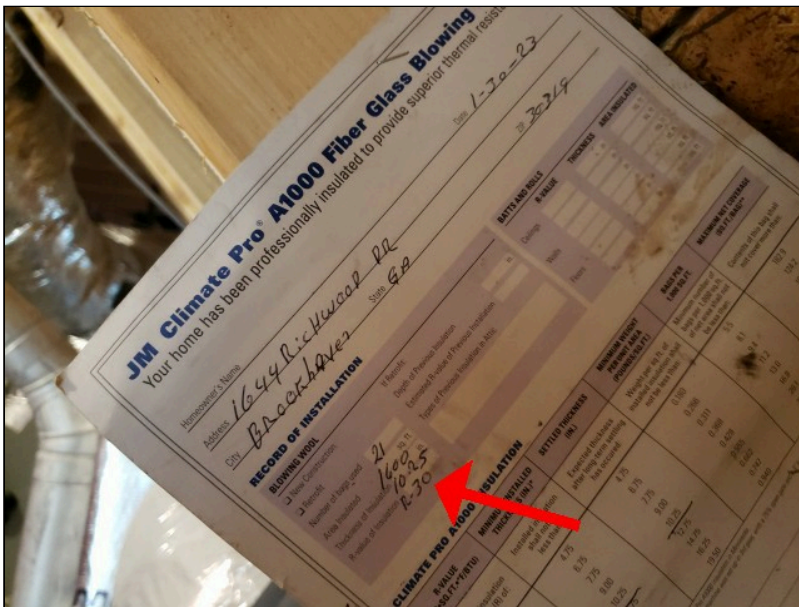
Comments: Inspected

8.2 Insulation In Attic

Comments: Inspected, Repair or Replace

 The insulation in the attic is less than today's standard of R-38. Per Georgia Energy Code, the insulation should have a heat resistant value (R value) of 38. A qualified contractor needs to install insulation in accordance to current Georgia Energy Code.

Georgia Energy Code violation





8.3 Ventilation Of Attic

Comments: Inspected

8.4 Insulation Under Floor System and Exposed Walls

Comments: Inspected, Repair or Replace

- Missing insulation between the studs was observed in the attic. A qualified contractor needs to install insulation where missing.



The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.



Roof Structure



Roof Structure



Roof Structure

Styles & Materials

Attic info:

- Attic access
- Light in attic
- Storage

Method used to observe attic:

From landing platform in attic

Roof Structure:

- Stick-built
- 2 X 6 Rafters
- Lateral bracing
- OSB board roof decking

Roof-Type:

Gable

Foundation:

Slab

Floor Structure:

Concealed

Wall Structure:

- 2x6 Wood studs
- 2x4 Wood studs

Items

9.0 Foundation, Basements And Crawlspace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Comments: Not Inspected

The home is built on a slab. There is no visual inspection of the actual slab.

9.1 Walls (Structural)

Comments: Inspected

9.2 Floors (Structural)

Comments: Inspected

9.3 Roof Structure And Attic

Comments: Inspected

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Grounds

The home inspector shall observe: Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector is not required to observe: Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Items

10.0 Driveways

Comments: Inspected

10.1 Walkways

Comments: Inspected

10.2 Patio Floors

Comments: Inspected

10.3 Grading and Drainage

Comments: Inspected, Repair or Replace



(1) Water runoff is washing out soil. A qualified contractor needs to evaluate further and make repairs to control water runoff. Location(s): right side of the house



- 🏠 (2) The grading generally does not provide positive drainage away from the foundation. There should be 6" of fall in the first 10' away from the foundation. A qualified contractor needs to evaluate further and repair. Location(s): back and left side of the house

Code violation



- 🏠 (3) Water appears to pool after rain. Some additional dirt, light grading, and yard drain boxes may be needed to drain the water off of the lot if water stands for more than 48 hours. Location(s): back of the house




- 🏠 (4) Where does water drain in the front planter box? There needs to be a drain in the front planter box to prevent water from collecting around the foundation. Check with builder to see if drainage is installed. If there is no drainage, a qualified contractor needs to install a drain source.



10.4 Vegetation And Trees (With respect to their effect on the condition of the building)


Comments: Inspected, Repair or Replace

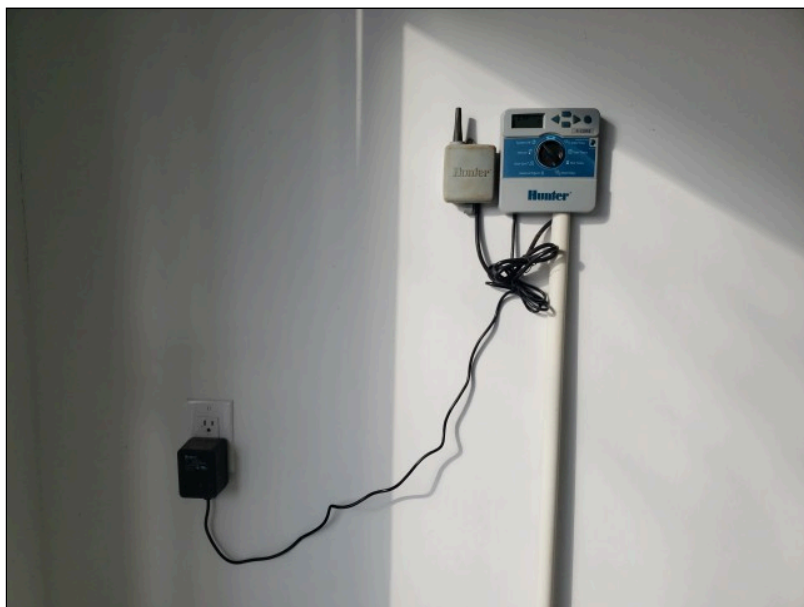
-  Tree limbs that are in contact with the roof or hanging over the roof need to be trimmed at least 5 feet away from the house.



10.5 Lawn Sprinkler System

Comments: Not Inspected

-  The lawn sprinkler system was not tested. Testing the system is outside the ASHI standards of inspections. The builder needs to demonstrate normal operation of the system without any leaks.



The grounds of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

11. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.



Right Elevation



Rear Elevation



Left Elevation



Left Elevation

Styles & Materials

Exterior Wall Cladding:

- Brick
- Concrete fiber based siding

Soffit and Eaves:

- Wood

Windows:

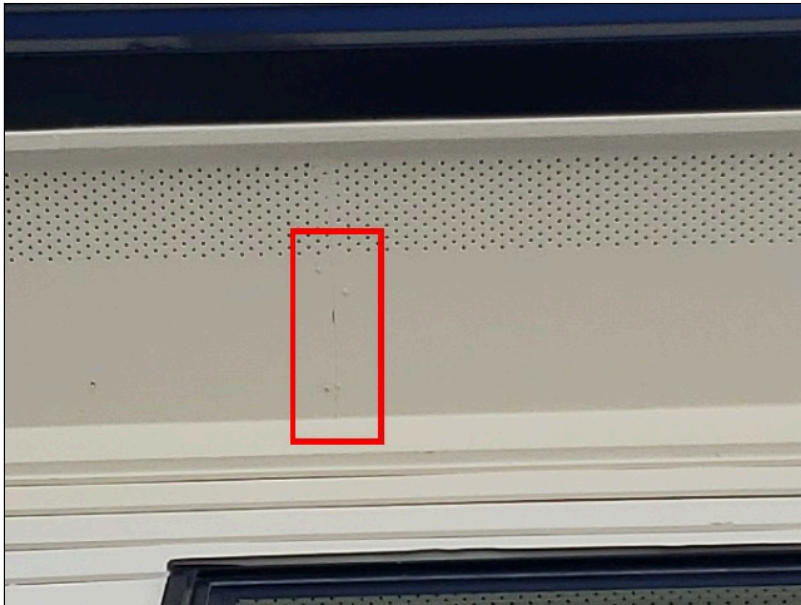
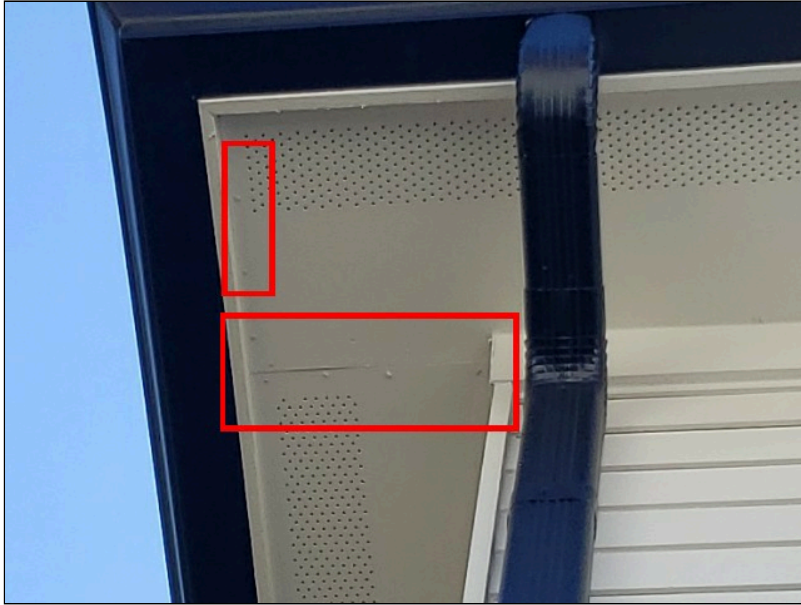
- Thermal insulated windows

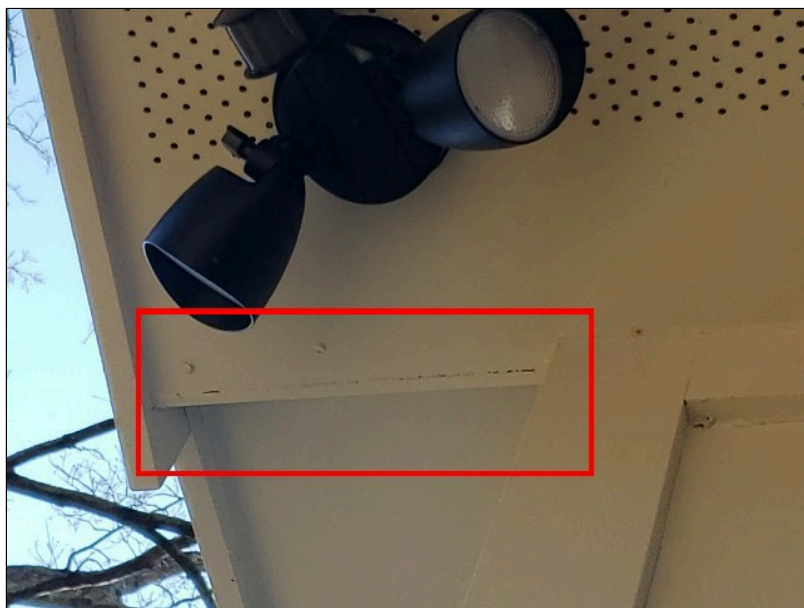
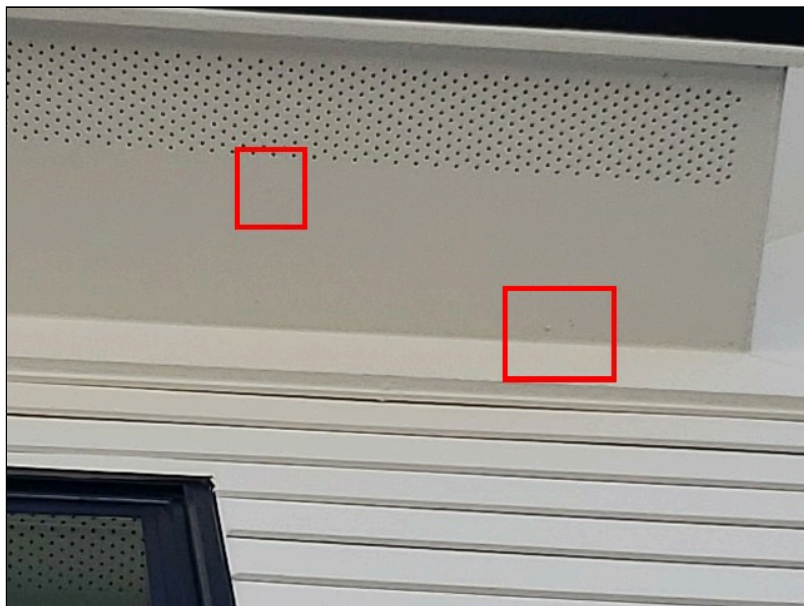
Items

11.0 Eaves, Soffits, And Fascias

Comments: Inspected, Repair or Replace

🏠 Exposed nail heads in the soffit need to be nailed, caulked, and painted. A qualified contractor needs to repair. Location(s): back and left side of the house



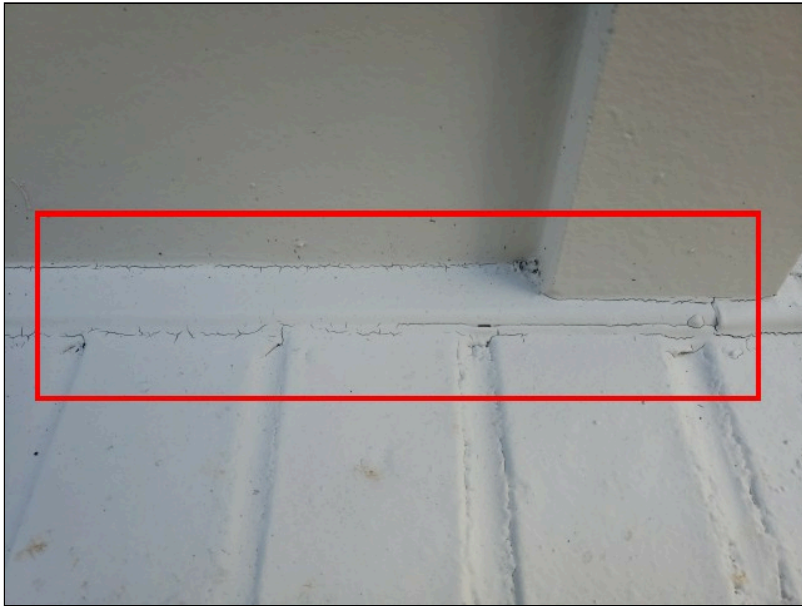



11.1 Siding And Siding Related Trim

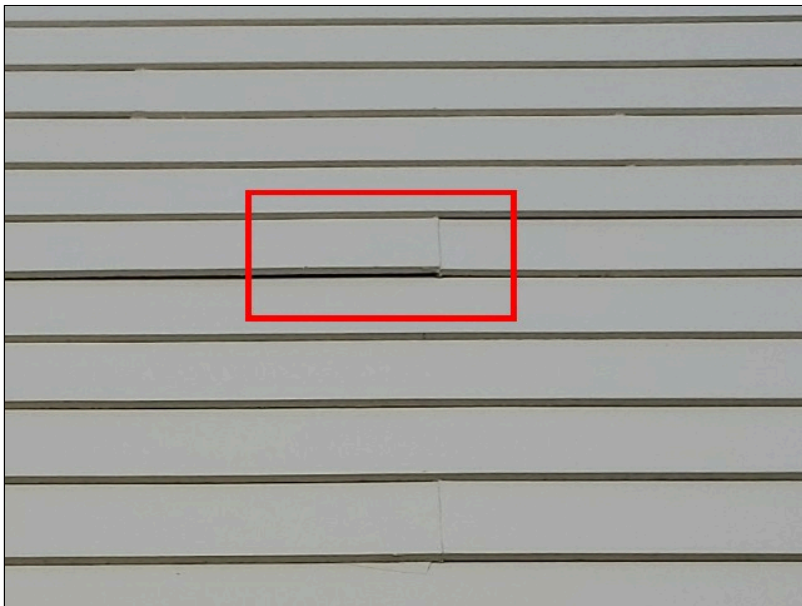
Comments: Inspected, Repair or Replace

- 🏠 (1) Siding needs to be caulked. See pictures for examples. A qualified contractor needs to caulk siding and paint to match existing as needed. Location(s): back of the house



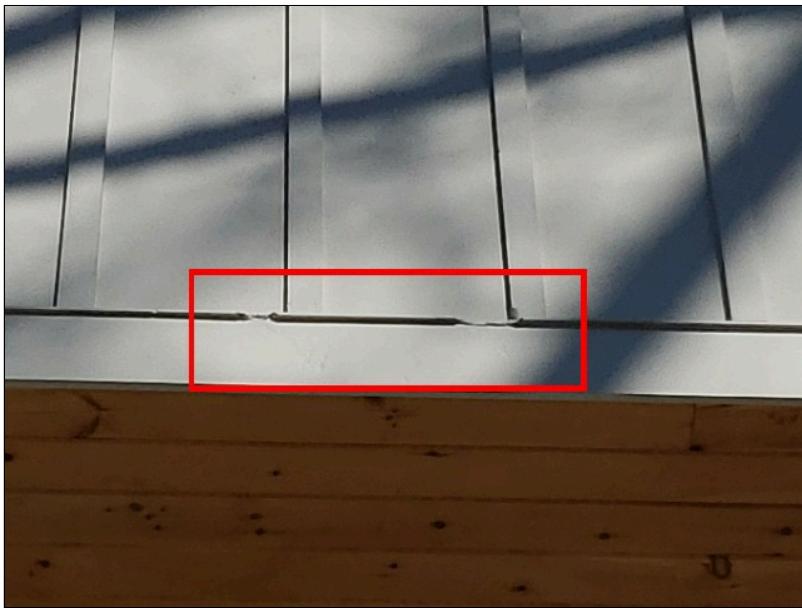


 (2) Siding needs to be nailed/re-nailed. A qualified contractor needs to repair. Location(s): left side of the house

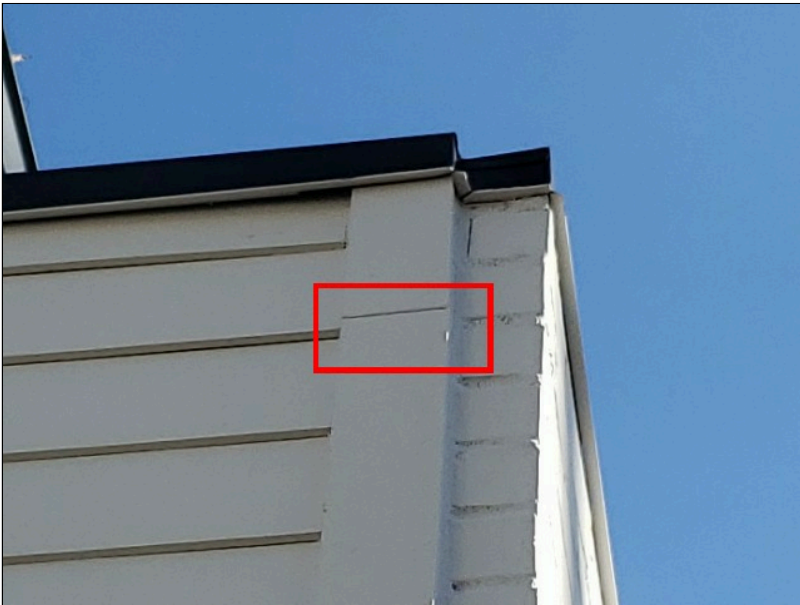




(3) Drip edge trim is damaged. A qualified contractor needs to replace damaged trim. Location(s): front of the house




- 🏠 (4) Corner boards need to be caulked and painted. A qualified contractor needs to repair. Location(s): front left corner





11.2 Brick, Stone, Stucco, Or Rock

Comments: Inspected, Repair or Replace

 All utility penetrations through the exterior wall should be caulked or filled with foam. The following utility penetrations should be caulked or filled with foam to limit air infiltration: meter base

Code violation



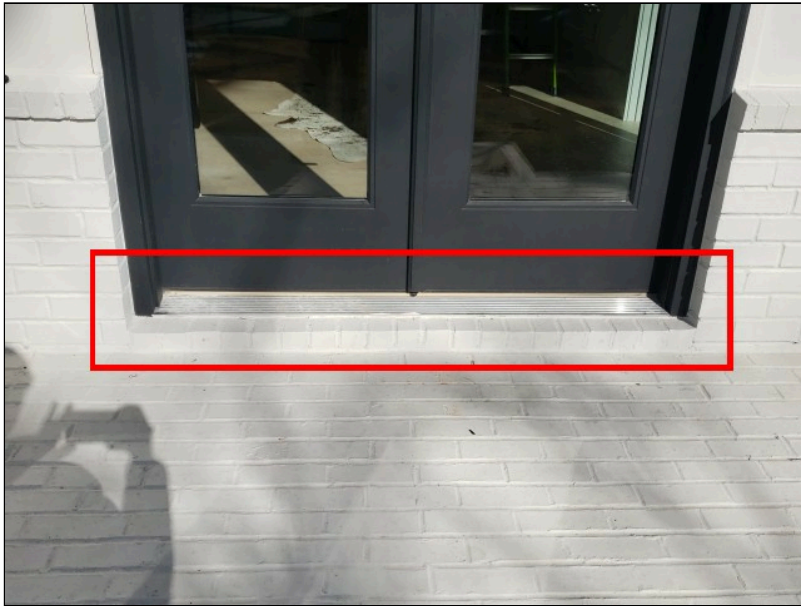
11.3 Doors (Exterior)

Comments: Inspected, Repair or Replace

🏠 Joint between the door jambs and threshold needs to be caulked. A qualified contractor needs to caulk door jambs and threshold to prevent air intrusion or moisture penetration. Location(s): back doors, front door

Code violation





11.4 Windows

Comments: Inspected

11.5 Steps

Comments: Inspected

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

12. Roofing, Gutters, Fireplace

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.


Styles & Materials

<p>Roof Covering: Asphalt Composition Shingles</p>	<p>Viewed roof covering from: Ground Binoculars Window</p>	<p>Approximate age of roof: Approximate life expectancy of dimensional shingles is 22 to 25 years New</p>
<p>Chimney type: None Vented prefabricated metal</p>	<p>Fuel Source: Gas logs (vented)</p>	<p>Fireplace type: Factory built</p>
<p>Number of fireplaces: One</p>		

Items

12.0 Roof Coverings

Comments: Inspected, Repair or Replace

 There are uplifted shingles on the roof. Picture(s) are examples. A qualified roofer needs to repair.



12.1 Flashing

Comments: Inspected, Repair or Replace

- 🏠 (1) Drip edge flashing is loose. A qualified contractor needs to repair. Location(s): front left corner



- 🏠 (2) Kickout flashing needs to be installed to divert water into the gutters. Flashing is needed to prevent water from penetrating into the wall structure. Picture(s) are examples. A qualified roofer needs to repair.

Code violation



12.2 Roof Penetrations

Comments: Inspected

12.3 Gutter Drainage Systems

Comments: Inspected, Repair or Replace

- (1) The downspouts are piped away from the house. The builder needs to identify where pipes drain. The pipes could drain to a dry well.



- (2) The gutters and downspouts need to be cleaned.





12.4 Chimney and Fireplace

Comments: Inspected

The gas logs were operational at the time of the inspection.



The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Summary

Marion Hodges Home Inspection Services

**1499 Sylvan Circle
Brookhaven, GA 30319
770-572-2808**

Customer
Lucky Customer


Address
4321 Main St
GA

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Built-In Kitchen Appliances


1.1 Oven

Inspected, Repair or Replace

 Error message on oven display, "Product Mis-Wire". The oven was not tested. Power turned off in panel for safety. The builder needs to evaluate and repair as needed.

1.4 Dishwasher


Not Inspected, Repair or Replace

 The water was off at the dishwasher at the time of the inspection. The builder should demonstrate normal operation of the dishwasher.

2. Plumbing Systems

2.5 Lavatory Drain Stop And Drain Assembly


Inspected, Repair or Replace

 The sink drain stopper will not close. A licensed plumbing contractor needs to repair. Location(s): private bath

Code Violation.

2.7 Tubs and Showers



Inspected, Repair or Replace

 The shower door needs adjusted. The door hit the stationary panel. A qualified contractor needs to adjust door. Location(s): master bath

3. Plumbing Components

3.0 Water Heater


Inspected, Repair or Replace

-  (2) The overflow pan under the water heater is damaged. A licensed plumbing contractor needs to replace the overflow pan.
-  (3) Combustion air vents are obstructed with insulation. Combustion air vents need to have a 1 inch air clearance per manufacturers specs. A licensed plumbing contractor needs to repair.

Violation of manufacture installation specs.

3.2 Temperature and Pressure Regulator Valve


Inspected, Repair or Replace

-  The end of the discharge pipe is not protected against freezing for the water heater pressure relief valve. Per manufacturer's specs, the end of the discharge pipe needs to be protected against freezing. The water heater is installed in the attic. A licensed plumbing contractor needs to repair.


Violation of manufacture installation specs.

3.3 Vent Pipe


Inspected, Repair or Replace

-  (1) The water heater vent pipe is not vented to the exterior. The water heater vents into the attic. This is a carbon monoxide safety issue. The water heater vent pipe must be vented to the exterior through the roof. The inspector turned gas off to the water heater for safety. A licensed plumbing contractor needs to repair.


Code violation and life safety issue

-  (2) Single wall vent pipe originates from the water heater in the attic. Single wall vent pipe is not allowed to originate in attic spaces. A licensed plumbing contractor needs to replace vent pipe with double wall pipe. The first 18 inches of the hot and cold line on a gas water heater need to be copper. A licensed plumbing contractor needs to repair.

Code violation

-  (3) The joints on the water heater vent pipe are not fastened together with screws. The vent piping from the water heater should be screwed together at the joints or connected in accordance with the manufacturers instructions. A licensed plumbing contractor needs to repair.

Code violation

-  (4) The draft hood legs on the water heater vent assembly need to be connected to the water heater. Proper connections prevent carbon monoxide from entering the structure. A licensed plumbing contractor needs to attach draft hood legs.

Code violation

3.4 Drain, Waste, and Vent Systems

Inspected, Repair or Replace

-  Cleanout cap is broken. A qualified contractor needs to replace. Location(s): front yard

4. Electrical Systems

4.6 GFCI (Ground Fault Circuit Interrupters)

Inspected, Repair or Replace

The receptacles in the kitchen that serve the countertops are not GFCI protected. A licensed electrician needs to put all receptacles in the kitchen on a GFCI protected circuit.

Code violation

4.7 Smoke Detectors**Inspected, Repair or Replace**

Replace bad battery in smoke detectors as needed. Smoke detector battery should be changed every 6 months.

4.8 Connected Devices And Fixtures (disposals, water heaters, bath fans, whirlpool motors, and attic fans)**Inspected, Repair or Replace**

Electrical conduit is not secure to the junction box. A licensed electrician needs to repair. Location(s): both air handlers in attic

Code violation

4.9 Distribution Panel Box And Disconnect Boxes**Inspected, Repair or Replace**

(1) There are mismatched breakers in the main distribution panel. Manufacturers legend label requires that only the panel manufacturers breakers be used in the panel or a compatible replacement is allowed to be used inside the panel. A licensed electrician needs to inspect further and replace any breaker that is not compatible with the panel.

Violation of manufacture installation specs.



(2) Per manufacturers specs on the condensing unit, the maximum size breaker permitted is 25 AMPS. The breaker in the panel is 30 AMPS. A licensed electrician needs to install correct size breaker.

Violation of manufacture installation specs.

5. Heating and Air Conditioning

5.0 Heating Equipment**Inspected, Repair or Replace**

(1) The air handler on the left makes a buzzing sound. The furnace did not start at the time of the inspection. A licensed heating and air contractor needs to evaluate further and repair. Location(s): attic




(2) The inside of the furnace burner housing is filled with insulation. This is on the same furnace that makes a buzzing sound. The inspector turned power off the the furnace for safety. All insulation needs to be removed from the inside of the furnace. The furnace needs to be put in normal working order. A licensed heating and air contractor needs to repair.

Fire safety issue.



(3) The main level furnace started at the time of the inspection. The furnace should not be used until the vent pipe issues are fixed (refer to comment 5.4). The inspector makes no warranties or guarantees as to how long the heating equipment and components will last.


5.1 Gas Piping (Exposed gas piping at water heaters, furnaces, and kitchen appliances inspected for leaks)**Inspected, Repair or Replace**

-  The gas pipe is not protected from corrosion. Latex paint was used to paint the gas pipe. Exterior gas piping should be protected from corrosion with corrosion resistant paint. A qualified contractor needs to paint the gas pipe with corrosion resistant paint. Location(s): gas grill connection, gas meter

Code Violation

5.4 Furnace Vent Pipe



Inspected, Repair or Replace

-  The furnace vent pipes are not vented to the exterior. The furnaces vent into the attic. This is a carbon monoxide safety issue. The furnace vent pipes must be vented to the exterior through the roof. The inspector turned gas off to the furnaces for safety. A licensed heating and air contractor needs to repair.

Code violation and life safety issue

5.6 Cooling And Air Handler Equipment

Inspected, Repair or Replace

-  (1) The air conditioning systems were not tested. The outside air temperature has been 65 degrees or less. Operating the condensing units when the outside air temperature has been less than 65 degrees can damage the compressors. The builder needs to warrant normal operation of the air conditioning equipment.
-  (2) Missing insulation on the refrigerant line in the attic. The refrigerant line should be completely insulated. A licensed heating and air contractor needs to add insulation where insulation is missing.

Code violation

6. Interiors


6.0 Doors and Door Locks

Inspected, Repair or Replace

-  Lock needs to be tightened. Location(s): garage

6.2 Steps, Stairways, Balconies, And Railings

Inspected, Repair or Replace

-  The glass guard rails along the stairs wobble. The glass could need stabilization. Check with the builder.



6.3 Counters And A Representative Number Of Cabinets

Inspected

-  Bottom drawer under the surface unit and drawer to the right need adjustment to open and close.



6.4 Bathroom Caulking and Tile

Inspected, Repair or Replace

-  (1) Tub walls need to be caulked or grouted. The pictures shown are examples. A qualified contractor needs to caulk or grout. Location(s): shared bath
-  (2) Tub walls need to be caulked or grouted. The pictures shown are examples. A qualified contractor needs to caulk or grout. Location(s): bonus room bath

6.5 Ceilings, Walls, And Floors


Inspected, Repair or Replace

-  (1) End of base trim by the tub is not painted. Paint trim to prevent water damage to the trim. Location(s): shared bath, bonus room bath
-  (2) The flooring needs to be secured to the floor in front of the oven. A qualified contractor needs to repair.

7. Garage

7.1 Garage Door


Inspected, Repair or Replace

-  Door does not have a tight seal against the garage door casing. A qualified contractor needs to adjust door for a tight fit or add an additional piece of trim to obtain a tight seal. Location(s): garage doors

8. Insulation And Ventilation

8.0 Bathroom Venting Systems


Inspected, Repair or Replace

-  The backdraft damper at the bathroom exhaust duct termination does not close on the back of the house. Outdoor air intakes and exhausts should have automatic or gravity dampers that close when the ventilation system is not operating. A qualified contractor needs to adjust damper so damper can close or replace damper.

Code violation

8.2 Insulation In Attic


Inspected, Repair or Replace

-  The insulation in the attic is less than today's standard of R-38. Per Georgia Energy Code, the insulation should have a heat resistant value (R value) of 38. A qualified contractor needs to install insulation in accordance to current Georgia Energy Code.

Georgia Energy Code violation

8.4 Insulation Under Floor System and Exposed Walls



Inspected, Repair or Replace

-  Missing insulation between the studs was observed in the attic. A qualified contractor needs to install insulation where missing.



10. Grounds

10.3 Grading and Drainage

Inspected, Repair or Replace


-  (1) Water runoff is washing out soil. A qualified contractor needs to evaluate further and make repairs to control water runoff. Location(s): right side of the house
-  (2) The grading generally does not provide positive drainage away from the foundation. There should be 6" of fall in the first 10' away from the foundation. A qualified contractor needs to evaluate further and repair. Location(s): back and left side of the house

Code violation

-  (3) Water appears to pool after rain. Some additional dirt, light grading, and yard drain boxes may be needed to drain the water off of the lot if water stands for more than 48 hours. Location(s): back of the house
-  (4) Where does water drain in the front planter box? There needs to be a drain in the front planter box to prevent water from collecting around the foundation. Check with builder to see if drainage is installed. If there is no drainage, a qualified contractor needs to install a drain source.


10.4 Vegetation And Trees (With respect to their effect on the condition of the building)

Inspected, Repair or Replace

-  Tree limbs that are in contact with the roof or hanging over the roof need to be trimmed at least 5 feet away from the house.

10.5 Lawn Sprinkler System


Not Inspected

-  The lawn sprinkler system was not tested. Testing the system is outside the ASHI standards of inspections. The builder needs to demonstrate normal operation of the system without any leaks.

11. Exterior





11.0 Eaves, Soffits, And Fascias

Inspected, Repair or Replace

-  Exposed nail heads in the soffit need to be nailed, caulked, and painted. A qualified contractor needs to repair. Location(s): back and left side of the house


11.1 Siding And Siding Related Trim

Inspected, Repair or Replace

-  (1) Siding needs to be caulked. See pictures for examples. A qualified contractor needs to caulk siding and paint to match existing as needed. Location(s): back of the house
-  (2) Siding needs to be nailed/re-nailed. A qualified contractor needs to repair. Location(s): left side of the house
-  (3) Drip edge trim is damaged. A qualified contractor needs to replace damaged trim. Location(s): front of the house
-  (4) Corner boards need to be caulked and painted. A qualified contractor needs to repair. Location(s): front left corner

11.2 Brick, Stone, Stucco, Or Rock


Inspected, Repair or Replace

-  All utility penetrations through the exterior wall should be caulked or filled with foam. The following utility penetrations should be caulked or filled with foam to limit air infiltration: meter base

Code violation

11.3 Doors (Exterior)

Inspected, Repair or Replace

-  Joint between the door jambs and threshold needs to be caulked. A qualified contractor needs to caulk door jambs and threshold to prevent air intrusion or moisture penetration. Location(s): back doors, front door

Code violation

12. Roofing, Gutters, Fireplace



12.0 Roof Coverings

Inspected, Repair or Replace

-  There are uplifted shingles on the roof. Picture(s) are examples. A qualified roofer needs to repair.



12.1 Flashing

Inspected, Repair or Replace

-  (1) Drip edge flashing is loose. A qualified contractor needs to repair. Location(s): front left corner
-  (2) Kickout flashing needs to be installed to divert water into the gutters. Flashing is needed to prevent water from penetrating into the wall structure. Picture(s) are examples. A qualified roofer needs to repair.

Code violation

12.3 Gutter Drainage Systems**Inspected, Repair or Replace**

-  (1) The downspouts are piped away from the house. The builder needs to identify where pipes drain. The pipes could drain to a dry well.
-  (2) The gutters and downspouts need to be cleaned.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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